



**HUFFINES AUTOMOTIVE
PLANNED DEVELOPMENT NO. 42
BASE ZONING DISTRICT: MX-C MIXED USE
COMMERCIAL
ORDINANCE NO. 16-05-05-15
(ADOPTED 5-5-2016)**

AMENDED BY:

- ORDINANCE NO. 17-12-07-17: UPDATED PD DESIGN STATEMENT AND CONCEPT PLAN (ADOPTED 12-7-2017)**
- PDA23-0002: MINOR PD AMENDMENT ESTABLISHING UPDATED NUMBER AND LAYOUT OF BUILDINGS AND INCREASING FLOOR AREA (APPROVED 9-19-2023)**

ORDINANCE NO. 16-05-05-15

HUFFINES AUTOMOBILE DEALERSHIP - PD MX-C

AN ORDINANCE AMENDING THE COMPREHENSIVE ZONING ORDINANCE BEING A PART OF THE UNIFIED DEVELOPMENT CODE, ORDINANCE 13-05-02-08, BY AMENDING THE ZONING CLASSIFICATION FROM MIXED-USE COMMERCIAL (MX-C) TO PLANNED DEVELOPMENT MIXED USE COMMERCIAL (PD MX-C) ON PROPERTY DESCRIBED AS ON 13.773 ACRES OF LAND SITUATED IN THE E. A. GARRISON SURVEY, COUNTY ABSTRACT 511 BEING TRACTS 36, 35, 34, 33, AND 24 IN THE CITY OF CORINTH, DENTON COUNTY, TEXAS; PROVIDING FOR A PD DESIGN STATEMENT AND A PD DESIGN MAP; PROVIDING A LEGAL PROPERTY DESCRIPTION; APPROVING A PLANNED DEVELOPMENT MASTER PLAN; PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000; PROVIDING FOR PUBLICATION AND A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas has adopted Ordinance 13-05-02-08, which adopts a Unified Development Code, which includes the Comprehensive Zoning Ordinance and which, in accordance with the City's Comprehensive Plan, establishes zoning districts and adopts a Zoning Map; and

WHEREAS, the hereinafter described property is zoned as Planned Development Classification under the City's Unified Development Code and a person having a proprietary interest in the property has requested a change in the zoning classification of said property; and

WHEREAS, the Planning and Zoning Commission of the City of Corinth and the City Council of the City of Corinth, having given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the City of Corinth City Council is of the opinion that said change in zoning should be made; and

WHEREAS, the City Council considered the following factors in making a determination as to whether the requested change should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the sites; safety from fire hazards and damages; noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; relationship and appropriateness of any changes to both the existing land use plan, comprehensive plan, and other planning documents of the City; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street loading spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; effect on the over-crowding of the land; effect on the concentration of population, and effect on transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the districts; their peculiar suitability for particular uses, aesthetic quality of the architectural design, the design consistency throughout the site, the preservation of site integrity, the consistency of landscape design, the environmental quality impact of the bio-swale and detention facilities, the efforts to contribute to the overall community design objectives including adjacent properties, and provide a positive example for future projects, and

WHEREAS, the City Council further considered among other things the character of the districts and their peculiar suitability for particular uses and the view to conserve the value of the buildings, and encourage the most appropriate use of the land throughout this City; and

WHEREAS, the City Council finds that the change in zoning promotes the health and the general welfare, provides adequate light and air, prevents the over-crowding of land, avoids undue concentration of population, and facilitates the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; and the general health, safety and welfare of the community;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

SECTION I - LEGAL PROPERTY DESCRIPTION; AMENDMENT

That in accordance with the Unified Development Code, the Zoning Map of the City of Corinth is hereby amended by amending the zoning on 13.773 acres of land described in "Exhibit A" attached hereto, from Mixed Use-Commercial (MX-C) to Planned Development Mixed Use-Commercial (PD MX-C).

SECTION II – PLANNED DEVELOPMENT MASTER PLAN

The PD Design Statement and PD Concept Design Map documents approved and described as “Exhibit B” attached hereto and made a part hereof are approved.

SECTION III – LAND USE REGULATIONS

- A. The Zoning and Land Use Regulations set forth in “Exhibit C” attached hereto and made a part hereof for all purposes shall be adhered to in its entirety for the purposes of this Planned Development Mixed Use-Commercial District. In the event of conflict between the provisions of “Exhibit C” and provisions of any other exhibit, the provisions of “Exhibit C” control.
- B. That the zoning regulations and districts as herein established have been made in accordance with the Comprehensive Plan for the purpose of promoting the health, safety, morals and the general welfare of the community. They have been designed, with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to provide adequate light and air; to prevent over-crowding of land; to avoid undue concentration of population; and to facilitate the adequate provision of transportation, water, sewerage, drainage and surface water, parks and other commercial needs and development of the community. They have been made after a full and complete hearing with reasonable consideration among other things of the character of the district and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community
- C. If, after two years from the date of approval of the Planned Development Master Plan, no substantial development progress has been made within the PD, then the Planned Development Master Plan shall expire. If the Planned Development Master Plan expires, a new Planned Development Master Plan must be submitted and approved according to the procedures within the Unified Development Code, Planned Development Application and Review. An extension of the two year expiration shall be granted if a development Application for the PD has been submitted and is undergoing the development review process or if the Director of Planning determines development progress is occurring.

- D. The Planned Development Master Plan shall control the use and development of the property, and all building permits and development requests shall be in accordance with the plan until it is amended by the City Council. The property owner shall furnish a reproducible copy of the approved PD Concept Design Map for signature by the Mayor and acknowledgement by the City Secretary. The Planned Development Master Plan, including the signed map shall be made a part of the permanent file and maintained by the City Secretary.

SECTION IV – PENALTY FOR VIOLATIONS

Any person, firm, or corporation violating any of the provisions of this ordinance shall upon conviction be fined a sum not to exceed two thousand dollars (\$2,000.00); and each and every day that these provisions are violated shall constitute a separate and distinct offense.

SECTION V – SEVERABILITY CLAUSE

If any section, paragraph, clause, phrase or provision of this ordinance shall be adjudged invalid or held unconstitutional, the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof, other than the part so decided to be invalid or unconstitutional.

SECTION VI – EFFECTIVE DATE

This ordinance shall become effective after approval and publication as provided by law.

PASSED AND APPROVED THIS 5TH DAY OF MAY, 2016.

APPROVED:





Joe Harrison, Mayor Pro-Tem

ATTEST:



Kimberly Pence, City Secretary

APPROVED AS TO FORM:



Mack Raymond
City Attorney

EXHIBIT "A"
LEGAL DESCRIPTION
13.773 ACRES

BEING all that certain lot, tract or parcel of land situated in the E. A. Garrison Survey, Abstract Number 511, City of Corinth, Denton County, Texas, being part of that certain called 20 acre tract of land, described in deed to Dorothy Williams Family Partners, Ltd., recorded in Document Number 1999-82645 of the Real Property Records of Denton County, Texas, and being part of that certain called one acre tract of land described in deed to Imogene Duncan, recorded in Volume 537, Page 326 of the Deed Records of Denton County, Texas, and being part of that certain called one acre tract of land described in deed to Imogene Duncan, recorded in Volume 529, Page 254 of the Deed Records of Denton County, Texas, and being part of that certain called one acre tract of land described in deed to Imogene Duncan, recorded in Volume 537, Page 327 of the Deed Records of Denton County, Texas and being part of that certain called one acre tract of land described in deed to Imogene Duncan, recorded in Volume 639, Page 592 of the Deed Records of Denton County, Texas, and being part of Tracts E, F, G and H as shown on the plat for H. R. Williams subdividing the west portion of the H. R. Williams First Tract and Second Tract, an addition to the Town of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet J, Page 6 of the Plat Records of Denton County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" capped rebar found (Sam Inc. TXDOT) at the southwest corner of that certain called 0.478 acre tract of land described in deed to SEL Meadows Oak, LLC, recorded in Document Number 2008-712 of the Real Property Records of Denton County, Texas, and being on the east line of Tract A of said H. R. Williams Subdivision, and being on the east line of that certain called one acre tract of land, described in deed to Stephen G. Sferlazza, recorded in Volume 4079, Page 983 of the Deed Records of Denton County, Texas, from which a 1/2" capped rebar found (Precise) at the northeast corner thereof, bears N 00°25'00" W, 99.59 feet;

THENCE N 88°50'30" E, 160.95 feet with the south line of said 0.478 acre tract, to a Texas Department of Transportation Monument found at the southerly southwest corner of that certain called 0.828 acre tract of land, described as Parcel 17 in deed to the State of Texas, recorded in Document Number 2014-16066 of the Real Property Records of Denton County, Texas, being the northwest corner of that certain called 1.635 acre tract of land, described as Parcel 14 in deed to the State of Texas, recorded in Document Number 2014-78948 of the Real Property Records of Denton County, Texas, and being on the west line of Interstate Highway 35E, from which a 1/2" capped rebar found (Arthur Survey) at the northeast corner of said Parcel 14 and the southeast corner of said Parcel 17, bears N 88°50'30" E, 88.61 feet;

THENCE with the west line of said Parcel 14 and the west line of said Interstate Highway 35E the following:

S 41°46'40" E, 379.73 feet to a Texas Department of Transportation Monument found;

S 35°58'30" E, 332.11 feet to a Texas Department of Transportation Monument found;

S 39°51'30" E, 160.49 feet to a Texas Department of Transportation Monument found;

S 40°39'50" E, 210.32 feet to a Texas Department of Transportation Monument found at the southwest corner of said Parcel 14, being on the south line of said 20 acre tract, and being on the north line of that certain Called 20.121 Acre tract of land described in deed to Destiny Dallas LP, recorded in Document Number 1999-9138 of the Real Property Records of Denton County, Texas, from which a 5/8" rebar found at the southeast corner of said Parcel 14 and the southeast corner of said 20 acre tract and the northeast corner of said Destiny Dallas LP tract bears N 89°12'10" E, 87.94 feet;

THENCE S 89°12'10" W, with the south line of said 20 acre tract, and the north line of said 20.121 acre tract, passing at 855.12 feet the southeast corner of said Tract H, being the southeast corner of said Imogene Duncan tract recorded in Volume 537, Page 326, continuing with the south line thereof, a total distance of 1210.18 feet to a 1/2" capped rebar set (G&A Consultants) at the southeast corner of that certain called 0.014 acre tract of land, described in deed to the City of Corinth, recorded in Document Number 2005-89410 of the Real Property Records of Denton County, Texas, and being on the east line of Tower Ridge Drive;

THENCE N 00°05'00" E, with the east line of said Tower Ridge Drive, and the east line of said 0.014 acre tract, passing at 117.97 feet a 1/2" capped rebar set (G&A Consultants) at the northeast corner thereof, being the southeast corner of that certain called 0.015 acre tract of land, described in deed to the City of Corinth, recorded in Document Number 2005-89407 of the Real Property Records of Denton County, Texas, being on the north line of said Tract H and the north line of said Imogene Duncan tract recorded in Volume 537, Page 326, and being on the south line said Tract G, and the south line of said Imogene Duncan tract, recorded in Volume 529, Page 254, from said point a 5/8" capped rebar found (Cotton) bears S 00°05'00" W, 1.0 feet, continuing with the east line of said 0.015 acre tract, passing at 235.75 feet the northeast corner thereof, and being the southeast corner of that certain called 0.017 acre tract of land, described in deed to the City of Corinth, recorded in Document Number 2005-89406 of the Real Property Records of Denton County, Texas, being on the north line of said Tract G, and the north line of said Imogene Duncan tract recorded Volume 529, Page 254, and being on the south line of said Tract F, and said Imogene Duncan tract recorded in Volume 537, Page 327, continuing with the east line of said 0.017 acre tract, passing at 353.53 feet a 1/2" capped rebar found (Cotton) at the northeast corner thereof, being the southeast corner of that certain called 0.019 acre tract of land, described in deed to the City of Corinth, recorded in Document Number 2005-89405 of the Real Property Records of Denton County, Texas, being on the north line of said Tract F, and the north line of said Imogene Duncan tract recorded in Volume 537, Page 327, and being the south line of said Tract E, and the south line of said Imogene Duncan tract recorded in Volume 639, Page 592, continuing with the east line of said 0.019 acre tract, a total distance of 471.31 feet to a 1/2" capped rebar found (COTTON) at the northeast corner thereof, being the southeast corner of that certain called 0.021 acre tract of land, described in deed to the City of Corinth, recorded in Document Number 2005-90592 of the Real Property Records of Denton County, Texas, being the north line of said Tract E, and the north line of said Imogene Duncan Tract recorded in Volume 639, Page 592, and being on the south line Tract D of said H. R. Williams Subdivision, and the south line of that certain tract of land, described in deed to Lionel E. Caldwell & Charmaine M. Caldwell, recorded in Volume 4578, Page. 1656 of the Deed Records of Denton County, Texas;

THENCE N 89°15'00" E, 357.80 feet with the north line of said Tract E and the north line of said Imogene Duncan tract recorded in Volume 639, Page 592, and the south line of said Tract D and the south line of said Caldwell tract to a 1/2" capped rebar set (G&A Consultants) at the southeast corner thereof, and being the northeast corner of said Tract E and the northeast corner of said Imogene Duncan tract recorded in Volume 639, Page 592;

THENCE N 00°25'00" E, with the east line of said Tract D and the east line of said Caldwell tract, passing at 117.85 feet a 1/2" capped rebar found (Alliance) at the northeast corner thereof, being the southeast corner of Tract C of said H. R. Williams Subdivision, and being the southeast corner of that certain called one acre tract of land, described in deed to Curtis L. Page & wife Patsy E. Page, recorded in Document Number 2005-88612 of the Real Property Records of Denton County, Texas, continuing with the east line thereof, passing at a distance of 235.70 feet a 1/2" rebar found at the northeast corner of said Tract C and the northeast corner of said Page tract, and being the southeast corner of Tract B of said H. R. Williams Subdivision and the southeast corner of that certain called one acre tract of land described in deed to Dwight R. Walker, recorded in Document Number 2005-88616 of the Real Property Records of Denton County, Texas, continuing with the east line thereof, passing at 353.54 feet the northeast corner thereof, and being the northeast corner of said Tract B and the northeast corner of said Dwight R. Walker tract, and being the southeast corner of said Tract A and the southeast corner of said Sferlazza tract, continuing with the east line thereof, a total distance of 372.28 feet to the **POINT OF BEGINNING** and containing approximately 13.773 acres of land.

EXHIBIT "B"
HUFFINES KIA SUBARU DEALERSHIP PD MASTER PLAN
CONSISTING OF
PD DESIGN STATEMENT

- i. This project / ordinance shall be referenced as the Huffines Automotive Planned Development Ordinance.
- ii. The owner / developer of the project will be Huffines Automotive Dealerships; the President of the group is S. Ray Huffines.
- iii. The property is located approximately 300 feet south of Meadows Oak, west of the I-35 ROW, north of the Destiny Dallas mobile home park, and partially abuts Tower Ridge Drive. Adjoining Land uses in relationship to the site are:
 - o North – approximately 3 acres zoned Mixed–Use Non-Residential Zoning – MX-C; there is currently a non-conforming single family house on the property, however, the property is being marketed for the commercial uses consistent with the existing zoning.
 - o East – I-35 highway and expanded right of way.
 - o South – approximately 10 plus acres zoned Mixed–Use Non-Residential Zoning – MX-C; approximately 2 to 3 acres of the frontage along I-35 is vacant and appropriate for use as zoned; the balance of the property is used as a non-conforming mobile home park.
 - o West of Tower Ridge Drive near the south half of the proposed project is the clubhouse and leasing office for a multi-family apartment complex; to the north of the multi-family project up to Meadows Oak the property is zoned Mixed–Use Non-Residential Zoning – MX-C and is currently anticipated for a new church site.
 - o East of Tower Ridge Drive and adjacent to the north half of the proposed project are 3 lots of approximately 1 acre each making a total of approximately 3 acres of land zoned Mixed–Use Non-Residential Zoning – MX-C; one of the lots (the one immediately north the subject tract) is currently a non-conforming rent house which the owner plans to remove and transition the property to a commercial use.

There is currently no connectivity between any of the properties with Tower Ridge serving as a common N-S access collector immediately west of the subject property. The I-35 service roads serve as the prime access along the east frontage of the subject property and the properties to the north and south.

Thus, joint access is suggested as shown on the proposed concept plan. The only proposed connectivity between any of the properties is the proposed mutual access easement between the subject property and the property to the north which is designed to open better commercial opportunities for the properties gaining enhanced access from the mutual access easement.

It is noted that the property adjacent to Lake Sharon Drive and one additional property east of Tower Ridge have existing residential use although said use is not in conformity to the land use plan. We believe it appropriate to exclude the residential adjacency requirements of the UDC from this project since the two parcels are expected to re-develop according to the existing business zoning classifications which the City has established; therefore, the UDC residential adjacency should not restrict the business use and the cohesive campus design and architecture proposed.

- iv. The subject property is approximately 13.8 acres and is proposed as the new location for Huffines Automotive Dealerships in Corinth.

The design concept for the site and overall development proposed by this PD and associated Concept Plan is summarized as follows:

To establish a new concept Automobile Dealership for Auto Sales and maintenance based on a campus style land plan that:

- a. Focuses three human scale, moderate sized sales buildings on the I-35 frontage with supporting structures generally behind the sales buildings. Both Phase I and expansion Phase II service / maintenance facilities are bridged or connected between the two new vehicle dealerships, and share a common customer vehicle entrance corridor between the two sales buildings. While it appears that there is one large building encompassing the two primary new vehicle dealerships and service facilities, there are actually two main buildings connected with a multi-bay open air covered service entrance or canopy.
- b. Actual service and maintenance facilities extend to the west behind the sales buildings. A service / collision repair facility is also located behind the dealership sales buildings. The customer sales facilities are oriented for full / direct visibility from I-35E; service and maintenance facilities will be located behind the sales buildings and thus are substantially buffered from view by the dealership sales structures. Provides required compliance with manufacturer facility design requirements while assuring design integrity and compatibility across the site through building shape, vertical and horizontal articulation, base and accent building materials (similar brick, compatible stone, glass, entry features, and other related materials), and a clean and access friendly ingress and egress plan.
- c. Maintains key location mature trees and supplements existing vegetation with new landscaping in compliance with City standards. Where possible, existing tree masses will be preserved and will serve as a perimeter buffer.
- d. The bio-swale filters runoff water from the property through an underground filtration system, and is also landscaped using a combination of shrubs, turf grass, and trees while channeling the runoff through bio-swales that act as a series of detention ponds. By clustering and appropriately locating the required trees, we will be able to replicate the appearance of natural tree groves blended into the attractive topo of the site, all of which is enhanced by the stone bordered retention / bio-swale system. It is noted that the project also provides for additional detention components on the south end of the project frontage and internally toward the north portion of the property thus taking advantage of the drainage basin divide running through the site.
- e. A low pipe rail will encircle the property. Along the frontage, the pipe rail will be supplemented with low shrubbery and vegetation, concealing much of the pipe rail along the frontage and visible areas along the north and south property lines near I-35. Around the balance of the property, the pipe rail will be supplemented by other security fencing (no less than 6 feet high and no more than 8 feet high) on the property line but flexible enough to avoid damage to preserved native trees.
- f. Separate monument signage as required for each sales building or franchise will be incorporated along the frontage behind TXDOT ROW within the project landscape setback. Additional signage identifying each franchised dealership and the pre-owned sales buildings will be incorporated into structures by providing appropriate locations on the front and sides of the buildings for signage. Details of building signage have been provided illustrating location, distribution, and spacing of signage.
- g. The Concept Plan provides for on-site growth based on the projected and current market demand for the Auto franchises which will be relocated from another site to the proposed site. Thus, the City will have built-in property and sales tax growth and expansion of quality jobs as

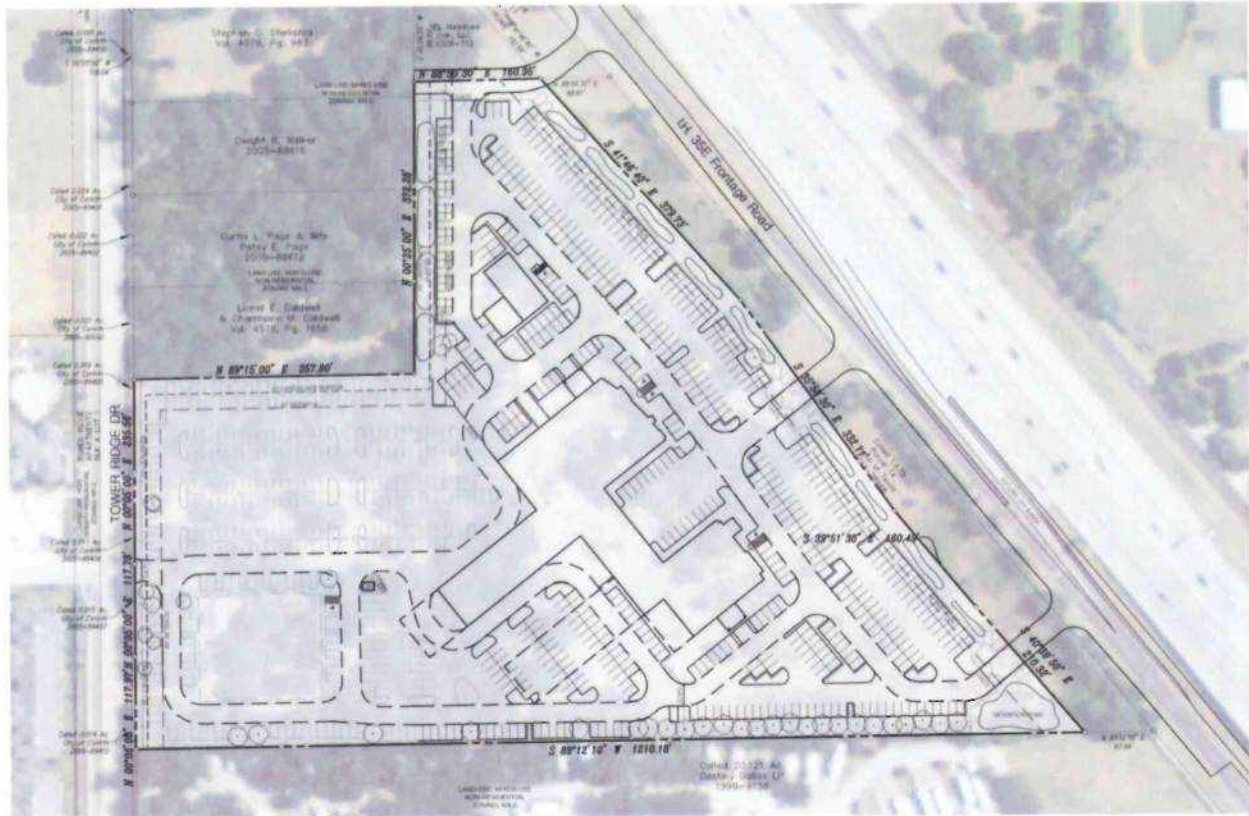
the site matures into its full capability. No other existing PD zoning districts are known to exist in the general area near the proposed project.

- v. The "MX-C" Mixed – Use Commercial District, including the regulations of the Corinth Unified Development Code, per the City of Corinth Unified Development Code has been selected as the base zoning district to regulate all uses and development regulations not identified as being modified by the subject PD regulations. The PD regulations hereinafter provides for the special provision required for the subject use to function as full sales and service automobile dealerships.
- vi. A list of all applicable special development regulations provided by the subject PD or anticipated as waivers or variances to the subdivision regulations is provided as an attachment hereto. The subject project will conform to all City standards except those which are in conflict with assuring a high quality and cohesive aesthetic design or those that simply are not appropriate for the proposed use or may be unique to the site circumstances.
- vii. There are only three existing streets or roadways that impact or serve the subject property (no new streets or roadways are anticipated or provided for in the City Comprehensive Plan). The three existing streets / roadways are: I-35, a high speed freeway with service roads; Lake Sharon Drive, two lane existing road that will become an east – west thoroughfare (future ROW and expansion are anticipated); and Tower Ridge Drive, a north south collector that has recently been expanded to its probable ultimate size of a collector.
- viii. The property elevation generally ranges from 623 feet to 591 feet and is a gently rolling site sloping to the center from both the east and west. The property drains to both the north and south providing for natural drainage both north and south. The site features a combination of Birome and Gasil fine sandy loams.
- ix. The applicant has provided a topographic map.
- xi. It appears the drainage area is generally equally divided with half flowing to the north and half flowing to the south. None of the property is in a flood zone; final civil plans will detail drainage plans and detention details. The nearest floodplain is over 550 feet to the west and over 500 feet to the east.
- xii. Water is adjacent to the property along roadways both east and west of the property. Wastewater is also adjacent to the property. Both water and wastewater will be extended into the property to serve the buildings and provide fire flow protection per the subdivision ordinance; plans for said utilities will be part of the project civil design subject to City review.
- xiii. There are no proposed residential densities on the property with all proposed development being commercial / business use in conformance with the proposed PD regulations. The structures on the site will total approximately 104,750 Square feet of space on approximately 13.5 acres; this will represent a floor to area ratio of about 0.178, a very low ratio. However, there will be several acres of paved parking for vehicle inventory.
- xiv. The project will be divided into two phases as illustrated on the Concept / Site Plan and Phasing Plan. Generally phase I will include the three sales venues and the initial phase of the service center as illustrated below on the PD Concept Design Map. Expansion of the Service Center and the addition of the Collision Center along with associated parking will be at a later date. The size of all facilities is detailed in the PD Zoning Ordinance.

xv. A list of all applicable special development regulations or modified regulations to the base zoning district; plus a list of anticipated **Subdivision Waivers** to be requested to the Subdivision Regulations or other applicable development regulations:

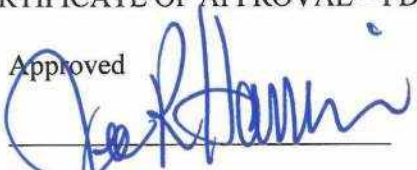
- Landscape Regulations
- Vehicle Parking Regulations
- Residential Adjacency Standards
- Exterior Façade Materials
- Sign Regulations
- Fencing and Screening Regulations
- Parking Lot Curbing
- Lighting and Glare

PD CONCEPT DESIGN MAP



CERTIFICATE OF APPROVAL – PD DESIGN MAP

Approved




Mayor Pro-Tem, City of Corinth, Texas

5/17/16

Date

The undersigned, the City Secretary of the City of Corinth, Texas, hereby certifies that the foregoing Design Map for Huffines Kia Subaru Master Planned Development was submitted to the City Council on the 5 day of May, 2016 and the Council by formal action, then and there accepted the PD Design Map, and said Council further authorizes the Mayor to note the acceptance thereof by signing his/her name as hereinabove subscribed.

Witness by hand this 17 day of May 2016.



City Secretary
City of Corinth, Texas

May 17, 2016

Date

EXHIBIT "C"
LAND USE REGULATIONS

SECTION 1: REGULATIONS

A. Purpose

The regulations set forth in this Exhibit provide development standards for Non-Residential Mixed Use-Commercial designations along with uses associated with New and Used Automotive Dealerships – Sales and Service, Auto-Body Shop, and Above Storage Fuel Dispensing. Every use not authorized herein is expressly prohibited in this Planned Development Mixed Use Commercial (PD MX-C) District.

B. Base Districts

The MX-C, Mixed Use-Commercial District regulations of the Corinth Unified Development Code, Ordinance No. 13-05-02-08, shall apply except as modified herein.

SECTION 2: USES AND AREA REGULATIONS:

A. Purpose

This district is intended to provide for development of two new automobile dealerships, one previously-owned dealership (which will serve as the previously owned component for both new Automobile dealerships), two connected service centers and parts inventory and sales (part of which will be a phase II component), and a collision center (which will also be a phase II component).

B. Permitted Uses and Use Regulations

In the Planned Development (PD) District for Mixed Use-Commercial Uses, no building or land shall be used and no building shall be hereafter erected, reconstructed, enlarged or converted, unless permitted by the Mixed-Use Commercial (MX-C) District regulations of the Unified Development Code except as otherwise included in this PD Ordinance.

The Permitted Uses in the MX-C, Mixed-Use Commercial District as listed in Subsection 2.07 of the Unified Development Code, shall be permitted uses and shall also include the following use:

1. Automobile Sales and Service
2. Above Ground Fuel Tank

Permitted Uses allowed by Specific Use Permit (SUP)

1. Automobile Body Shop

The following uses are permitted under MX-C zoning, but shall not be permitted within this Planned Development District by Specific Use Permit or any other means:

1. Assisted Living/Nursing Home
2. Dwelling, Single Family (detached)
3. Dwelling, Single Family (attached – duplex)
4. Dwelling, Single Family (attached – townhouse)
5. Dwelling, Multi-Family

6. Modular (Industrialized) Home
7. Retirement Housing
8. Studio Residence

C. Development Standards

The Development Standards for this PD are the development standards for MX-C Mixed-Use Commercial, Section 2.06.02 of the City's Unified Development Code except as otherwise stated herein.

1. UDC 2.07.07 **Accessory Buildings and Uses** shall apply.
2. UDC 2.08.05 **Nonresidential Dimensional Regulations Chart** shall apply.
3. UDC 2.09.01 **Landscape Regulations** shall.
4. UDC 2.09.02 **Tree Preservation Regulations** shall apply.
5. UDC 2.09.03 **Vehicle Parking Regulations** shall apply except for the following clarifications and supplemental regulations:
 - a. The provisions of UDC 2.09.03 shall apply for customer and employee parking and shall measure 10' x 20'. Employee parking shall be required for the number of employees on the site without regard for the square footage of the work area. Customer parking shall be calculated based on building square footage provided for customer shopping, financing and automobile transaction, waiting, and related public spaces. Areas for service, parts inventory and employee work stations may be excluded from the calculation of customer parking.
 - b. The parking ratio for customer accessible areas (including sales and lounge space) shall be 1 space per 350 square feet of floor area, as shown in the charts on the site plan associated with this PD.
6. UDC 2.09.04 **Building Façade Material Standards** shall apply and include the following percentages:

Kia Dealership

Exterior Materials	Total % all sides	North		East		South		West		Total Sq.Ft. all
		Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	
Glazing	28.8%	766	22.2%	1,414	41.0%	966	28.0%	300	8.7%	3,446
Metal**	5.3%	112	17.6%	180	28.3%	126	19.8%	217	34.2%	635
Stucco	25.9%	490	15.8%	873	28.2%	680	21.9%	1,057	34.1%	3,100
Stone	1.4%	72	43.1%	15	9.0%	72	43.1%	8	4.8%	167
Arch. CMU	25.9%	871	28.1%	70	2.3%	417	13.5%	1,740	56.2%	3,098
Tile	12.6%	404	26.8%	738	48.9%	354	23.5%	12	0.8%	1,508
Total	100.0%	2,715		3,290		2,615		3,334		11,954
Total Square Footage of Exterior Wall Area*					8,508	*excludes fenestration and doors				
Total Square Footage of Masonry Wall Area					7,873					
Total Percentage of Class 1 & 2 Masonry					92.5%	** most metals have masonry backing				

Subaru Dealership

Exterior Materials	Total % all sides	North		East		South		West		Total Sq.Ft. all
		Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	
Glazing	28.1%	1,344	38.0%	1,243	35.2%	636	18.0%	310	8.8%	3,533
Metal**	7.1%	190	21.4%	428	48.3%	120	13.5%	149	16.8%	887
Stucco	2.4%							302	100.0%	302
Stone	9.4%	235	19.9%	490	41.5%	386	32.7%	70	5.9%	1,181
Arch. CMU	33.2%	916	21.9%			916	21.9%	2,343	56.1%	4,175
Tile	19.8%	835	33.6%	932	37.5%	654	26.3%	62	2.5%	2,483
Total	100.0%	3,520		3,093		2,712		3,236		12,561
Total Square Footage of Exterior Wall Area*					9,028	*excludes fenestration and doors				
Total Square Footage of Masonry Wall Area					8,141					
Total Percentage of Class 1 & 2 Masonry					90.2%	** most metals have masonry backing				

Pre-Owned Dealership

Exterior Materials	Total % all sides	North		East		South		West		Total Sq.Ft. all
		Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	
Glazing	25.2%	484	24.1%	808	40.3%	484	24.1%	230	11.5%	2,006
Metal**	6.2%	140	28.3%	160	32.3%	140	28.3%	55	11.1%	495
Stucco	13.9%	110	10.0%			110	10.0%	884	80.1%	1,104
Stone	9.6%	234	30.5%	180	23.4%	234	30.5%	120	15.6%	768
Arch. CMU	20.9%	578	34.7%			578	34.7%	512	30.7%	1,668
Tile	24.2%	615	31.9%	689	35.8%	622	32.3%			1,926
Total	100.0%	2,161		1,837		2,168		1,801		7,967
Total Square Footage of Exterior Wall Area*					5,961	*excludes fenestration and doors				
Total Square Footage of Masonry Wall Area					5,466					
Total Percentage of Class 1 & 2 Masonry					91.7%	** most metals have masonry backing				

Service Center

Exterior Materials	Total % all sides	North		East		South		West		Total Sq.Ft. all
		Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	
Glazing	7.7%	744	51.2%	552	38.0%			156	10.7%	1,452
Metal**	9.0%	498	29.5%	525	31.1%	214	12.7%	450	26.7%	1,687
Stone	3.2%	42	7.0%	338	56.4%	147	24.5%	72	12.0%	599
Concrete	80.1%	2,940	19.6%	3,393	22.6%	4,927	32.8%	3,752	25.0%	15,012
Total	100.0%	4,224		4,808		5,288		4,430		18,750
Total Square Footage of Exterior Wall Area*					17,298	*excludes fenestration and doors				
Total Square Footage of Masonry Wall Area					15,611					
Total Percentage of Class 1 & 2 Masonry					90.2%	** most metals have masonry backing				

Collision Center

Exterior Materials	Total % all sides	North		East		South		West		Total Sq.Ft. all
		Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	
Glazing	5.4%	220	33.3%					440	66.7%	660
Metal**	6.5%	229	29.0%	86	10.9%	140	17.7%	335	42.4%	790
Stone	5.3%	120	18.7%	180	28.0%	120	18.7%	222	34.6%	642
Concrete	82.8%	2,641	26.2%	2,462	24.5%	2,854	28.3%	2,112	21.0%	10,069
Total	100.0%	3,210		2,728		3,114		3,109		12,161
Total Square Footage of Exterior Wall Area*					11,501	*excludes fenestration and doors				
Total Square Footage of Masonry Wall Area					10,711					
Total Percentage of Class 1 & 2 Masonry					93.1%	** most metals have masonry backing				

7. UDC 2.09.05 **Residential Adjacency Standards** shall apply except:
 - a. UDC 2.09.05.1 Building materials will be permitted as shown on attached elevations.
 - b. UDC 2.09.05.2 No building, including buildings with a footprint of six thousand (6,000) square feet or less (as provided for in the UDC 2.09.05), shall be required to feature a pitched roof so as to maintain continuity of architectural design across the entire site.
8. UDC 2.09.06 **Nonresidential Architectural Standards** shall apply.
9. UDC 2.09.07 **Lighting and Glare Regulations** shall be subject to the following exceptions and supplemental provisions:
 - a. LED light sources (luminaires) are accepted as a light source.
 - b. UDC 2.09.07 C.3-4 (required turning off of Parking Luminaires and Building Luminaires). It is provided that site lighting is specifically considered to serve a prime security purpose across a large area of vehicle inventory, storage, and display and is critical for security. To achieve the security objective, the site lighting shall be permitted to maintain the design lighting standards (maximum of 19.9 fc, minimum of 4.2 fc, and 10.22 fc average along dealership frontage; maximum 12.6 fc, minimum of 0.0 fc, and 4.18 fc average on the balance of the project), except as follows:

- c. UDC 2.09.07 G.1 (Intensity of Illumination from property to other adjacent properties). This provision shall apply to properties adjacent to the subject site based on the current zoning of the parcels (none are residential zoning). All said properties are projected to be commercial districts; thus maximum fc between properties shall be 3.0 fc for commercial district adjacency except for the above noted residential adjacencies until such time as the residual adjacency is eliminated.
- d. Additional lighting detail:
 - i. All light sources (pole or building mounted) shall be shielded so as to not allow light to be directed off the property.
 - ii. Free standing light poles shall be a maximum of 22 feet tall, not counting the concrete base; standards may be mounted on concrete pedestals not to exceed 30 inches in height.

10. UDC 4.01 **Sign Regulations** shall apply except as follows:

- a. UDC 401.15 C - Monument Sign provisions shall be adjusted as follows to reflect the extended distance from the proposed I-35 access roads to the property line and to encourage continuity with site landscaping:
 - i. There shall be a "0" setback from property line to the nearest portion of a monument sign (either base or sign face).
 - ii. Sign area and dimensions are as follows:
 - (a) Length (horizontal) of sign face shall be a maximum of 15'.
 - (b) Height (vertical) – Maximum vertical dimension of sign face shall be 7'.
 - (c) The sign backing (structure on which the sign face is mounted) shall not exceed 100 Square feet which shall be measured as the external dimension of the sign backing.
 - (d) Base – a maximum 3' tall base shall not be considered part of the sign face or sign backing structure if said base has no commercial message or logo.
 - (e) The maximum total height above ground level shall be 10'. (Note: landscaping complimentary to the overall landscape design may be installed adjacent to the sign base.)
 - iii. Maximum size per sign face (max of two faces per monument sign) shall be 85 SF per side for signs adjacent to I-35; any signs adjacent to any other roadway shall comply with the provisions of UDC 4.01.
 - iv. The sign face area shall be calculated as the maximum area encompassed by the vertical and horizontal limits of names, logos, or symbols within the sign face. The sign face may be mounted on a sign backing as defined above or may be used without any backing.
 - v. Each new or previously owned automobile dealership facility or building may have one (1) monument sign along I-35E access road frontage as would be allowed if such building was on a separately platted lot. The size of letters, logos, or symbols on the monument signs provided for in Section 10a. shall be limited to the size of the sign face area and shall be proportionate to the overall size of the sign face message.
 - vi. If, in the future, the sign ordinance is revised to allow for larger signage, any proposed monument sign shall be permitted to increase to the maximum allowable size to be consistent with the then-current design standards.
- b. On-site, free standing directional signage shall conform to the design criteria in the UDC, and shall be permitted based on an on-site directional signage plan submitted to and

approved by the Director of Planning when such signage is requested by submittal of a sign or building permit. Such signs shall be allowed in the quantity and at locations as are approved by the Director of Planning. Directional signage may include directional information such as “service, parts, and similar related locations on the property” along with arrows or directional symbols.

- c. Attached Sign - Building Mounted Signage – Building mounted sign provisions are hereby adjusted as follows to reflect the extended distance between the proposed I-35 Highway and access roads and the property line and building line:
 - i. Business Identification Signage will be allowed on a maximum of three building elevations for each of the three dealership sales buildings. The maximum square footage of signage for all elevations shall be based on the current City of Corinth calculation limitation for the “front façade” square footage allowed as provided for in the UDC. The letter, logo, and / or symbol size for all building mounted name and business identification signage shall be restricted to the maximum total building name / identification square footage calculation as provided in the UDC for the “front façade”. Such “front façade” square footage calculation may be placed or distributed on multiple single plane facades as shown on the building elevations attached herewith. Additionally, the maximum letter size permitted shall be 36” tall.
 - ii. Service, Parts, and Other Building (such as service / collision building) Identification Needs shall be allowed one primary name / identification sign per building on either the building frontage facing toward the I-35 highway or facing west. Primary building names shall have a maximum of 36” high letters. Secondary building identification signs may be allowed on other building faces to provide building names for deliveries, etc. Secondary names and signage directing customers to service drive or entrance drives shall have a maximum of 24” high letters.
 - iii. Sign placement on building – there shall be no restriction on the placement of attached signs for building name or identification on the structure so long as the aggregate width of signage on the front façade of a building does not exceed 50% of the façade width. Customer directions for service entrance shall not be subject to this provision. Non-frontage elevations shall not be permitted to have signage exceeding 40% of the non-frontage façade width.
- d. Sign permits will require permitting aside from the building permit.

11. UDC 4.02 **Fence and Screening Regulations** shall apply except as follows:

- a. A pipe rail not to exceed 30” in height shall be allowed around any portion of the site to supplement security.
- b. In order to provide for screening and security through intensive existing trees and vegetation, metal decorative fencing (tubular steel, wrought iron, and other decorative steel fencing, but not including chain link) shall be allowed around the perimeter of the site as illustrated on the Concept Plan. Said decorative metal fencing shall be no less than 6 feet and no more than 8 feet in height. Vegetative screening may be installed along with said fencing in areas where existing trees are not present to provide reasonable screening. If subsequently needed to provide needed screening for the internal areas used for storage of vehicles that are dismantled, wrecked, or in the process of being restored, a form of permitted solid or opaque fencing other than chain link must be approved by the Director of Planning.

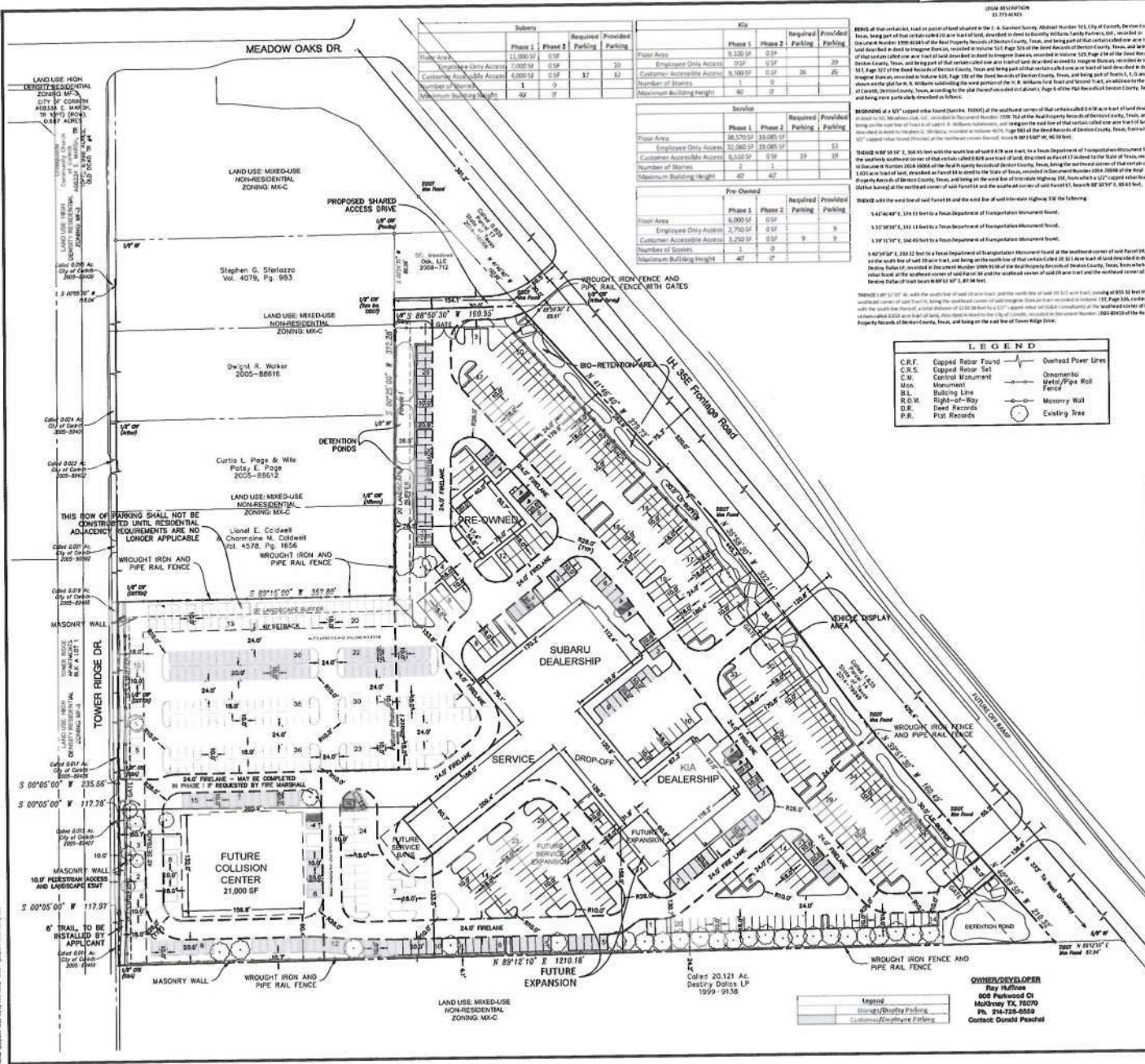
- c. All decorative or security fencing, security pipe rail, and gates shall be shown on the site plan.
 - d. All exterior fencing shown on the site plan shall be located on the property line, except where such fencing may deviate to preserve native trees.
 - e. In non-vegetative areas, tubular metal fencing shall be used (generally in areas near frontage roads lacking existing trees and vegetation, but also as depicted on the Site Plan).
 - f. Concrete or masonry fencing shall not be required along the boundaries having a single family residential structure if such property is not zoned for single family use or if said property is expected to be redeveloped to non-residential uses.
 - g. Concrete (must be textured) or solid masonry fencing shall be required to screen the collision center if said facility is located within 100 feet of any property line across from residential and shall also be required along the site's frontage on Tower Ridge Drive.
 - h. All proposed fencing will require a fencing permit prior to construction.
12. Outside Display – outside vehicle (product) display is defined as positioning vehicles in locations intended to promote the brands, connect with consumer interest, highlight vehicle features, and show popular colors in a manner that rotates a variety of vehicles in locations as described below:
- a. Vehicle Parking Areas and Building Areas – These are locations behind the landscape setback where vehicles are parked for viewing in rows or in spots near or around the sales buildings that are reserved for vehicle display as indicated on the concept plan and / or illustrated in the provided pictorial graphics showing elevations and building perspectives.
 - b. Vehicle Display in Portion of Front Landscape Setback – a maximum of 10 vehicles (2 per side of entry drive) may be displayed in the westernmost 25' of the 30' landscape setback ("landscape setback vehicle locations") along the eastern North – South property line of the site (frontage adjacent to I-35) due to the unusually extreme distance between the east property line and the I-35 service road. The provision is subject to the following landscape vehicle display location criteria:
 - i. Be shown on the site plan or landscape plan.
 - ii. Blend with the landscape plan and bio-detention basins, including any sloping alignment of the vehicle (no mechanical or steel structure onto which vehicles are driven or placed); may include natural berms or blended stone bases onto which the vehicles are driven.
 - iii. Provide for a paved surface (including concrete, stamped concrete, or stone) that is designed to support the vehicle and preserve the integrity of the landscape.
 - iv. Vehicle Display in a portion of the Front Landscape Setback will terminate as a right when the Texas Highway Department widens or enlarges the highway (or service / access roads), so that the service / access roads are within an average of 20' from the east property line of the subject property. Until that time, vehicles may remain on display after business hours and on weekends and holidays.
13. Project Phasing and Components Included in each phase:
- a. Phase I – shall include:

- i. Two new vehicle dealership buildings / spaces and one pre-owned dealership building
 - ii. The initial service / maintenance / parts building for the site will be physically connected to the new vehicle dealership buildings / spaces.
 - iii. Parking required for each of the above facilities for customers, employees, and inventory
 - iv. 3 Paved ingress-egress locations from IH-35 service roads including the north-most ingress-egress location which is designated as a mutual access drive to serve the adjacent and subject properties. Note: it is understood that ingress-egress locations intersecting I-35 are subject to TXDOT approval.
 - v. Three monument signs – one for each dealership
 - vi. Pipe rail surrounding the site with movable entry pipe rail provisions at entrances
 - vii. Fencing as detailed on the site plan, including all types of fencing around the entire perimeter of the property
 - viii. One compactor dumpster unit to serve the property and the required access drives to service said compactor.
 - ix. As a matter of development sequence information, the electric pole relocation will be part of phase I as required for service regardless of the phase in which such distribution site is located.
- b. Phase II – shall include
- i. A second phase of the service-maintenance-parts building
 - ii. A collision repair building – if approved by Specific Use Permit (SUP)
 - iii. Parking required for each of the above facilities for customers, employees, and inventory (vehicles being serviced)
 - iv. An additional ingress-egress location with paved fire lane including a City approved accessible locking device (if gated) to accommodate emergency access. This fire lane may be allowed as part of phase I if required by the Fire Marshall.

SECTION 3: CONDITIONS

- A. Prior to commencement of any land use on Property described in Exhibit “A” to this ordinance, Huffines Automotive Dealerships and/or S. Ray Huffines shall satisfy the following conditions:
1. Acquire fee ownership of Lots 6-A1, 6-B1 and 6-C1 (being 4.454 acres, 2.00 acres, and 1.449 acres, respectively) in Block 1 of Pecan Creek Subdivision, an addition to the City of Corinth, Denton County, Texas, according to the replat thereof recorded in Cabinet E, Page 196, Plat Records, Denton County, Texas, with an address of 5150 S. I-35, Corinth, Texas (the “Nonconforming Property”); and
 2. After acquiring ownership of the Nonconforming Property, terminate and waive any rights to use the Nonconforming Property for automobile sales and service uses and automobile body shop uses, in a form and manner approved by the City Attorney.

EXHIBIT "C" LAND USE REGULATIONS SITE PLAN ORDINANCE #16-05-05-15



Systems	Phase 1		Phase 2		Required	Provided
	Parking	Other	Parking	Other		
Employee Only Access	11,000 SF	0 SF	0 SF	0 SF	0	0
Customer Accessible Access	2,000 SF	0 SF	0 SF	0 SF	0	0
Number of Spaces	1	0	0	0	0	0

Systems	Phase 1		Phase 2		Required	Provided
	Parking	Other	Parking	Other		
Employee Only Access	5,330 SF	0 SF	0 SF	0 SF	0	0
Customer Accessible Access	5,330 SF	0 SF	0 SF	0 SF	0	0
Number of Spaces	2	0	0	0	0	0

Systems	Phase 1		Phase 2		Required	Provided
	Parking	Other	Parking	Other		
Employee Only Access	6,000 SF	0 SF	0 SF	0 SF	0	0
Customer Accessible Access	2,750 SF	0 SF	0 SF	0 SF	0	0
Number of Spaces	3	0	0	0	0	0



1.01 The site plan shall be prepared in accordance with the provisions of Ordinance #16-05-05-15 and shall be submitted to the City of Denton, Texas, for review and approval. The site plan shall include all information required by the Ordinance, including but not limited to, the following:

1.02 The site plan shall show the location of all buildings, parking lots, and other structures on the site. The site plan shall also show the location of all easements, including but not limited to, utility easements, drainage easements, and access easements. The site plan shall also show the location of all setbacks and other regulatory requirements.

1.03 The site plan shall be prepared in accordance with the provisions of Ordinance #16-05-05-15 and shall be submitted to the City of Denton, Texas, for review and approval. The site plan shall include all information required by the Ordinance, including but not limited to, the following:

1.04 The site plan shall show the location of all buildings, parking lots, and other structures on the site. The site plan shall also show the location of all easements, including but not limited to, utility easements, drainage easements, and access easements. The site plan shall also show the location of all setbacks and other regulatory requirements.

1.05 The site plan shall be prepared in accordance with the provisions of Ordinance #16-05-05-15 and shall be submitted to the City of Denton, Texas, for review and approval. The site plan shall include all information required by the Ordinance, including but not limited to, the following:

1.06 The site plan shall show the location of all buildings, parking lots, and other structures on the site. The site plan shall also show the location of all easements, including but not limited to, utility easements, drainage easements, and access easements. The site plan shall also show the location of all setbacks and other regulatory requirements.

1.07 The site plan shall be prepared in accordance with the provisions of Ordinance #16-05-05-15 and shall be submitted to the City of Denton, Texas, for review and approval. The site plan shall include all information required by the Ordinance, including but not limited to, the following:

1.08 The site plan shall show the location of all buildings, parking lots, and other structures on the site. The site plan shall also show the location of all easements, including but not limited to, utility easements, drainage easements, and access easements. The site plan shall also show the location of all setbacks and other regulatory requirements.

1.09 The site plan shall be prepared in accordance with the provisions of Ordinance #16-05-05-15 and shall be submitted to the City of Denton, Texas, for review and approval. The site plan shall include all information required by the Ordinance, including but not limited to, the following:

1.10 The site plan shall show the location of all buildings, parking lots, and other structures on the site. The site plan shall also show the location of all easements, including but not limited to, utility easements, drainage easements, and access easements. The site plan shall also show the location of all setbacks and other regulatory requirements.

Item	Phase 1	Phase 2	Total
Site Data Summary			
Proposed Zoning	MX-C	MX-C	MX-C
Proposed Land Use Designation	Office, Non-Residential	Office, Non-Residential	Office, Non-Residential
Proposed Land Use Designation	Office, Non-Residential	Office, Non-Residential	Office, Non-Residential
Site Area (Acres)	20.000	20.000	40.000
Site Area (Sq. Ft.)	871,200	871,200	1,742,400
Number of Proposed Lots	12	12	24
Percentage of Site Coverage	84.86%	84.86%	84.86%
Area of Open Space	15.14%	15.14%	15.14%
Area of Impervious Coverage	84.86%	84.86%	84.86%
Percentage of Impervious Coverage	84.86%	84.86%	84.86%
Proposed Building Area (Phase 1) (Sq. Ft.)	871,200	0	871,200
Proposed Building Area (Phase 2) (Sq. Ft.)	0	871,200	871,200
Proposed Building Area (Total) (Sq. Ft.)	871,200	871,200	1,742,400
Proposed Floor Area by Use			
Accessible by Public	22,860 SF	22,860 SF	45,720 SF
Employee Only Access	45,720 SF	45,720 SF	91,440 SF
Required Parking**	400	0	400
Provided Parking	400	0	400
Storage/Display (20% SF)	334	0	334
Employee/Customer (20% SF)	334	0	334
Handicap (20% SF)	334	0	334
Total	668	0	668
Required Loading Spaces	0	0	0
Provided Loading Spaces	0	0	0
Area of Outside Display	37,800 SF	37,800 SF	75,600 SF
Percentage of Outside Display	4.34%	4.34%	4.34%
Sign Construction Methods (Per Sign)	0	0	0
Area of Signage (Per Sign)	0	0	0
Area of Signage (Total)	0	0	0

Zoning Standard	MX-C
Minimum Lot Area	20,000 sq. ft.
Minimum Lot Width	150 ft.
Minimum Floor Area	N/A
Minimum Front Yard	40 ft.
Minimum Side Yard	0 ft.
Minimum Rear Yard	20 ft.
Maximum Lot Coverage	50%
Max Height (ft./over ft.)	2.5/40 ft.

HUFFINES KIA SUBARU
13,775 Acres
in the ABSTRACT NO. 511
CITY OF DENTON
DENTON COUNTY, TEXAS

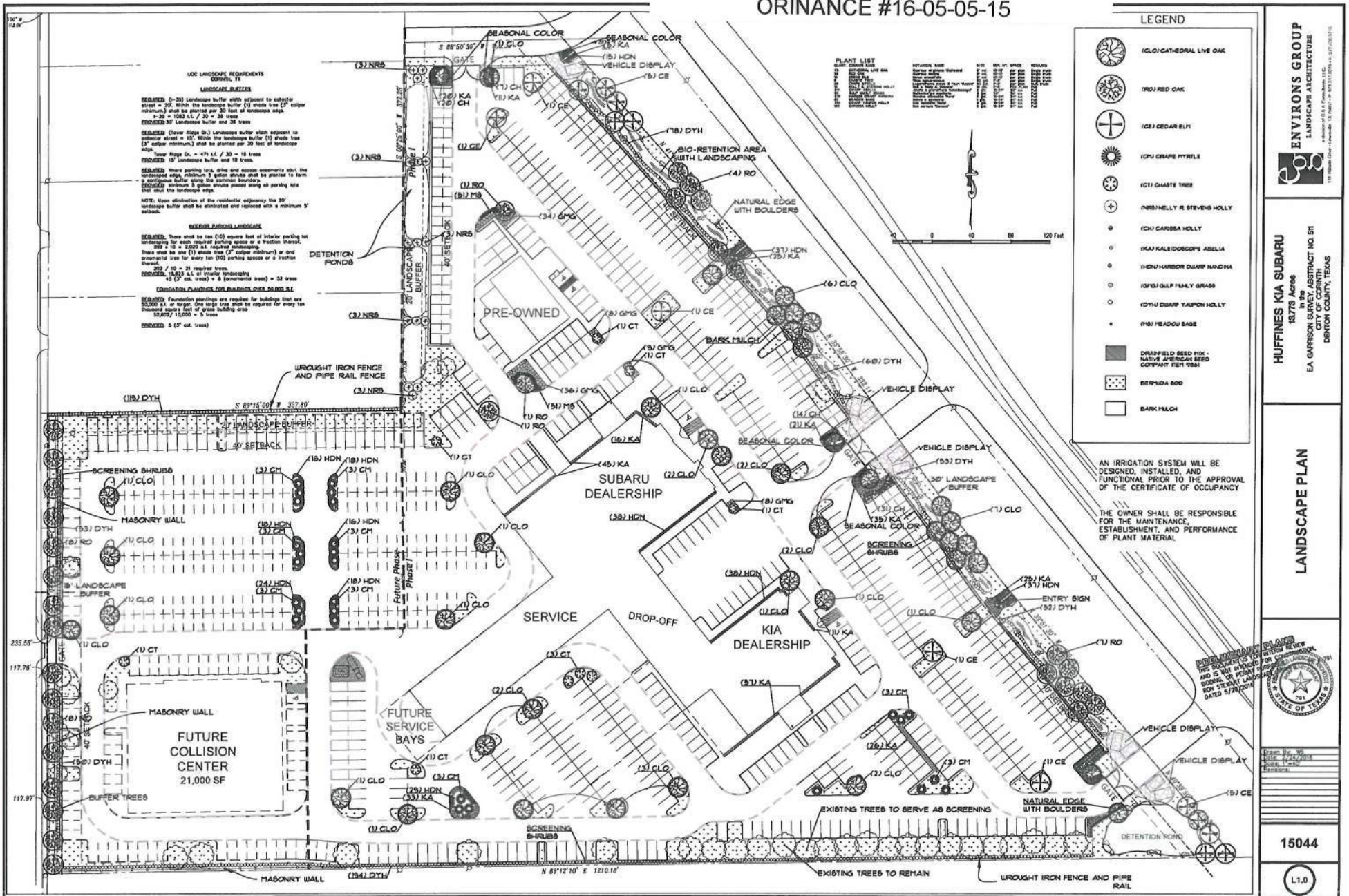
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HUFFINES KIA SUBARU
13,775 Acres
in the ABSTRACT NO. 511
CITY OF DENTON
DENTON COUNTY, TEXAS

SITE PLAN

PRELIMINARY PLAN
THIS DOCUMENT IS FOR
INTERNAL REVIEW AND IS
NOT INTENDED FOR
CONSTRUCTION, BIDDING,
OR CONTRACTING.
G&A CONSULTANTS, P.C.
ROBERT JOHN COLLAM, P.E.
P.E. #56629
DATE 5/23/2016

EXHIBIT "C" LAND USE REGULATIONS LANDSCAPE PLAN ORINANCE #16-05-05-15



LOCAL LANDSCAPE REQUIREMENTS
CORINTH, TX

LANDSCAPE BUFFERS

REQUIRED: (0-35) Landscape buffer with adjacent to exterior street = 20'. Within the landscape buffer (1) shade tree (2' caliper minimum) shall be planted per 30 feet of landscape edge.
 1-30 = 100% 1.5 / 20 = 30 trees
REQUIRED: 30' Landscape buffer and 35 trees

REQUIRED: (Lower Ridge 0-2) Landscape buffer with adjacent to exterior street = 10'. Within the landscape buffer (1) shade tree (2' caliper minimum) shall be planted per 30 feet of landscape edge.
 Lower Ridge Dr. = 475 LL / 30 = 16 trees
REQUIRED: 15' Landscape buffer and 16 trees

REQUIRED: Where parking lots, drive and access easements shall be landscaped, minimum 2 gallon shrubs shall be planted to form a continuous buffer along the common boundary.
REQUIRED: Minimum 5 gallon shrubs planted along an parking lot shall meet the landscape edge.

NOTE: Upon abandonment of the residential occupancy the 30' landscape buffer shall be eliminated and replaced with a minimum 5' setback.

EXTERIOR PARKING LANDSCAPE

REQUIRED: There shall be ten (10) square feet of interior parking lot landscaping for each residential parking space or a fraction thereof.
 200 / 10 = 2,000 sq. ft. required minimum for a fraction thereof.
 There shall be one (1) shade tree (2' caliper minimum) or an accompanied tree for every ten (10) parking spaces or a fraction thereof.
 200 / 10 = 21 required trees.
REQUIRED: 100% of all interior occupancy
 45 (sq. ft. trees) + 6 (ornamental trees) = 51 trees
REQUIRED: Foundation plantings for structures over 30,000 sq. ft.
 Foundation plantings are required for buildings that are 30,000 sq. ft. or larger. One large tree shall be required for every ten thousand square feet of gross building area.
 52,877 / 10,000 = 5 trees
REQUIRED: 5 (2' cal. trees)

PLANT LIST

SYMBOL	PLANT NAME	SPECIES	SIZE	QUANTITY
(CLO)	CATHEDRAL LIVE OAK	Quercus chrysolepis	12"	1
(RO)	RED OAK	Quercus rubra	12"	1
(CE)	CEDAR ELM	Ulmus crinitus	12"	1
(GPH)	GRAPE HYDRATE	Vitis rotundifolia	12"	1
(GT)	GIANTS TREE	Platanus sp.	12"	1
(HSH)	HILLI R. STEVENS HOLLY	Ilex hilli	12"	1
(KH)	KARLEBA HOLLY	Ilex karleba	12"	1
(KKA)	KALIDIOSCOPE ABELIA	Abelia grandifolia	12"	1
(HSH)	HARBOR DWARF HANGING	Plumbago auriculata	12"	1
(GPH)	GALF PEAZY GRASS	Pennisetum setaceum	12"	1
(GTH)	GIANT YALPON HOLLY	Ilex yalponensis	12"	1
(HSH)	HEDGE BAGE	Yucca filamentosa	12"	1

LEGEND

- (CLO) CATHEDRAL LIVE OAK
- (RO) RED OAK
- (CE) CEDAR ELM
- (GPH) GRAPE HYDRATE
- (GT) GIANTS TREE
- (HSH) HILLI R. STEVENS HOLLY
- (KH) KARLEBA HOLLY
- (KKA) KALIDIOSCOPE ABELIA
- (HSH) HARBOR DWARF HANGING
- (GPH) GALF PEAZY GRASS
- (GTH) GIANT YALPON HOLLY
- (HSH) HEDGE BAGE

DRAFTFIELD SEED FIRM - NATIVE AMERICAN SEED COMPANY ITEM 9861
 BERMDIA 800
 BARK MULCH

AN IRRIGATION SYSTEM WILL BE DESIGNED, INSTALLED, AND FUNCTIONAL PRIOR TO THE APPROVAL OF THE CERTIFICATE OF OCCUPANCY

THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERFORMANCE OF PLANT MATERIAL

ENVIRON'S GROUP
LANDSCAPE ARCHITECTURE

HUFFINES KIA SUBARU
18,775 Acres
EA GARRISON SUBTRACT NO. 511
CITY OF CORINTH
DENTON COUNTY, TEXAS

LANDSCAPE PLAN

DATE: 5/20/2016

DESIGNED BY: [Signature]

SCALE: 1" = 40'-0"

PROJECT NO: 15044

L1.0

Material	Total Sq. Ft.	North		East		South		West		Total
		Sq. Ft.	%	Sq. Ft.	%	Sq. Ft.	%	Sq. Ft.	%	
Masonry	22.5%	296	23.3%	2,020	37.4%	869	25.9%	89	3.3%	2,705
Metal**	7.7%	99	13.4%	495	45.4%	1,882	20.0%	229	24.4%	2,605
Brick	4.4%							770	100.0%	770
Stone	3.3%	265	42.7%	320	23.0%	275	28.2%	50	8.1%	860
Arch. CMU	14.1%	658	23.4%			2,209	45.1%	895	31.5%	2,532
Glass	33.4%	1,200	33.0%	1,410	34.2%	875	22.5%	450	30.3%	3,935
Total	100.0%	1,268		2,935		3,801		2,413		10,417

Total Square Footage of Exterior Wall Area* 8,987 *includes fenestration and doors

Total Square Footage of Class 1 Masonry Wall Area 4,517

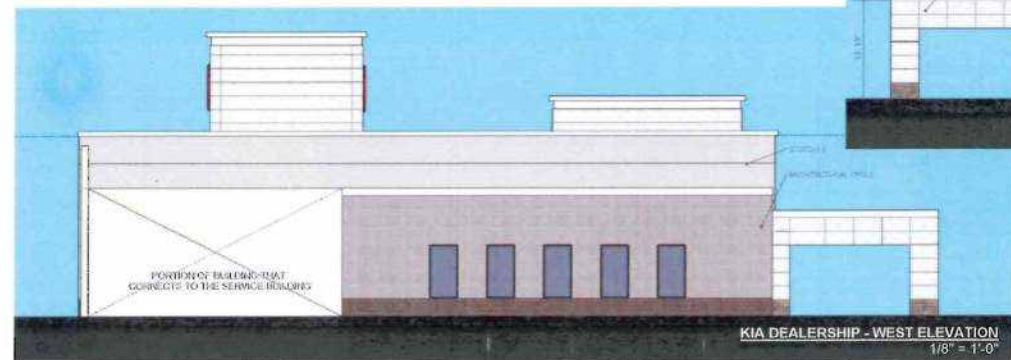
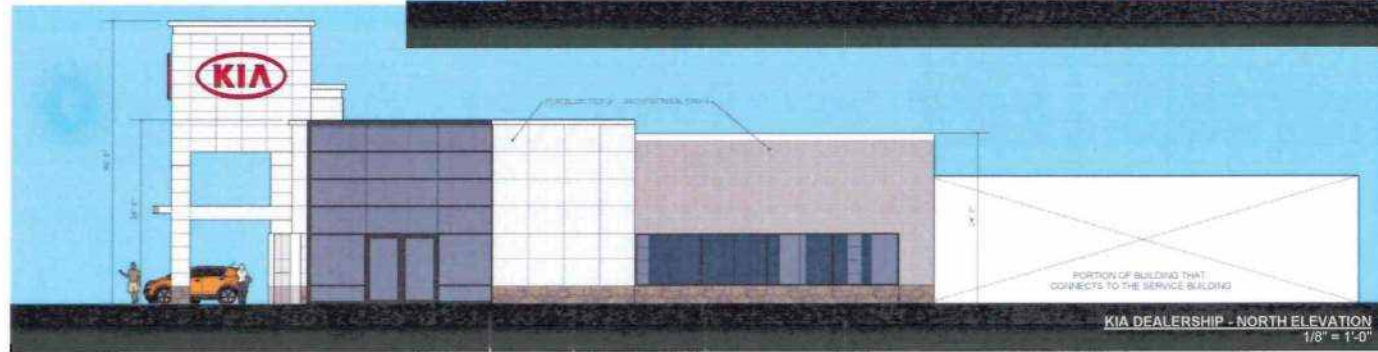
Total Square Footage of Class 2 Masonry Wall Area 2,562

Total Percentage of Class 1 Masonry 50.30%

Total Percentage of Class 2 Masonry 28.7%

Total Percentage of Class 1 & 2 Masonry 79.0%

** most metals from masonry backing



A P D G
ARCHITECTURE
PLANNING
CONSTRUCTION

2025 11th
Ave. Ste. 100
Corinth, TX 75041

A NEW DEALERSHIP FACILITY FOR:
HUFFINES KIA / SUBARU
CORINTH, TEXAS

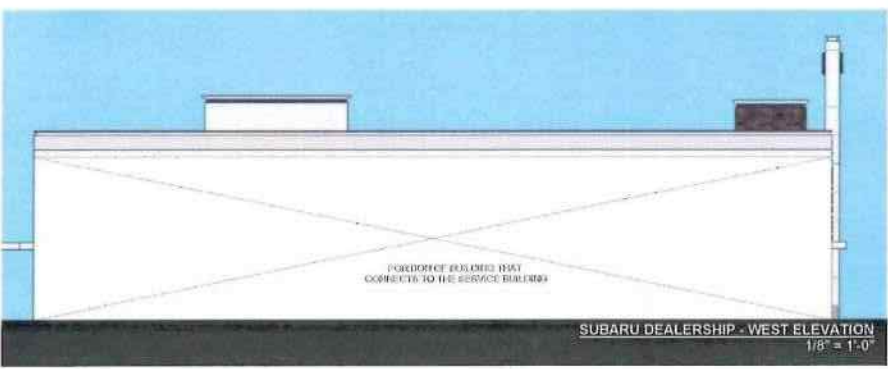
AUG 23, 2015

BUILDING
ELEVATIONS

A3.1

EXHIBIT "C"
LAND USE REGULATIONS
ELEVATIONS PLAN
ORDINANCE #16-05-05-15

Material	Total Sq. Ft.	%	North	East	South	West	Total
Concrete	17,474	6.0%	8,203	10,074	1,228	2,270	22,775
Masonry**	4,274	1.5%	200	3,474	300	1,400	5,274
Steel	1,274	0.4%	1,274	0	0	0	1,274
Other	1,274	0.4%	0	0	0	1,274	1,274
Total	24,300	8.3%	9,677	13,548	1,228	3,870	28,323
Total Masonry	5,548	1.9%	1,274	3,474	300	1,400	6,448
Total Masonry of Class 1	5,548	1.9%	1,274	3,474	300	1,400	6,448
Total Masonry of Class 2	0	0%	0	0	0	0	0
Total Percentage of Class 1 & 2 Masonry	5,548	1.9%	1,274	3,474	300	1,400	6,448



A NEW DEALERSHIP FACILITY FOR:
KIA / SUBARU
HUFFINES
 CORINTH, TEXAS

AUG 21, 2016
 BUILDING ELEVATIONS
 A3.2

EXHIBIT "C"
 LAND USE REGULATIONS
 ELEVATIONS PLAN
 ORDINANCE #16-05-05-15

PRE-OWNED										
Category	Level 11	North		East		South		West		Total
Masonry - all sides	Sq. Ft.	%	Sq. Ft.	%	Sq. Ft.	%	Sq. Ft.	%	Sq. Ft.	Sq. Ft.
Roofing	17.7%	278	11.8%	800	47.2%	1,796	14.9%	88	2.8%	1,482
Window**	4.0%	77	3.2%	78	4.5%	75	0.6%	28	0.9%	260
Door	2.7%	42	1.8%	42	2.5%	42	0.3%	16	0.5%	142
Block	8.5%	132	5.5%	330	19.3%	220	1.8%	284	9.4%	966
Arch (CMU)	26.4%	402	17.0%	774	45.0%	842	6.9%	842	27.4%	2,860
Tile	15.1%	231	9.7%	774	45.0%	812	6.7%	248	8.0%	2,065
Total	100.0%	2,342	100.0%	5,430	100.0%	12,004	100.0%	1,496	100.0%	24,272
Total Square Footage of Exterior Wall Area*										5,430
*Excludes balconies and stairs										
Total Square Footage of Class 1 Masonry Wall Area										5,430
Total Square Footage of Class 2 Masonry Wall Area										2,278
Total Percentage of Class 1 Masonry										52.8%
Total Percentage of Class 2 Masonry										42.0%
Total Percentage of Class 1 & 2 Masonry										94.8%
** most exterior door openings handill										



A NEW DEALERSHIP FACILITY FOR:
HUFFINES KIA / SUBARU
HUFFINES
CORINTH, TEXAS

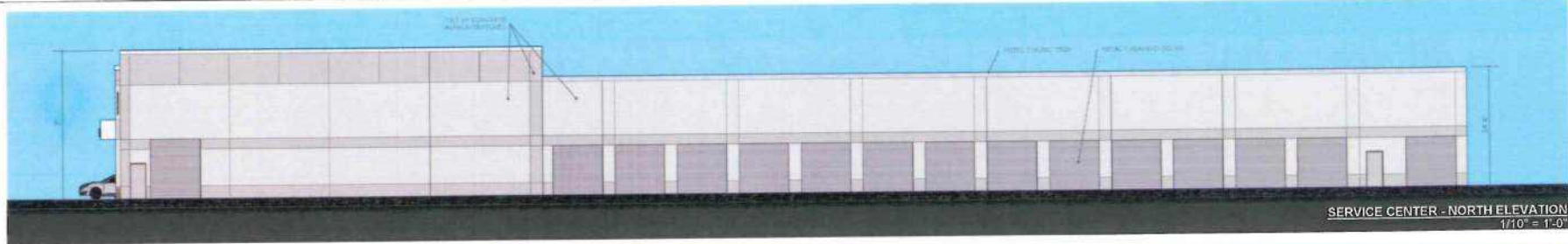
AUG. 21, 2015

BUILDING ELEVATIONS

A3.3

EXHIBIT "C"
LAND USE REGULATIONS
ELEVATIONS PLAN
ORDINANCE #16-05-05-15

EXHIBIT "C" LAND USE REGULATIONS ELEVATIONS PLAN ORDINANCE #16-05-05-15



SERVICE CENTER - NORTH ELEVATION
1/10" = 1'-0"

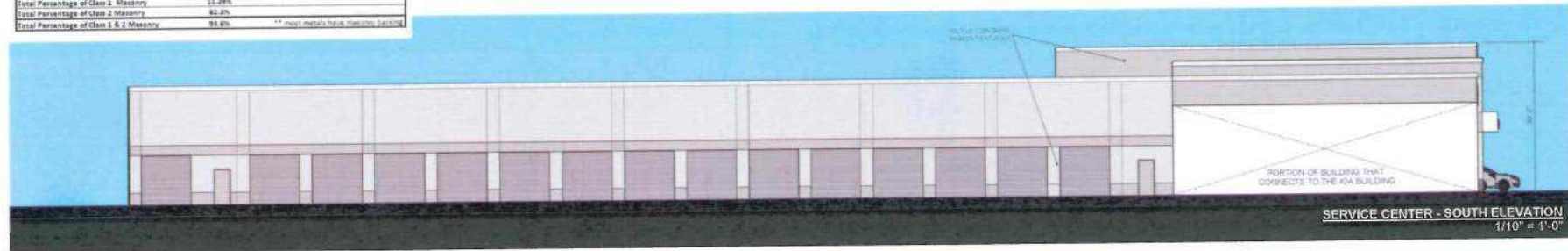


SERVICE CENTER - EAST ELEVATION
1/10" = 1'-0"

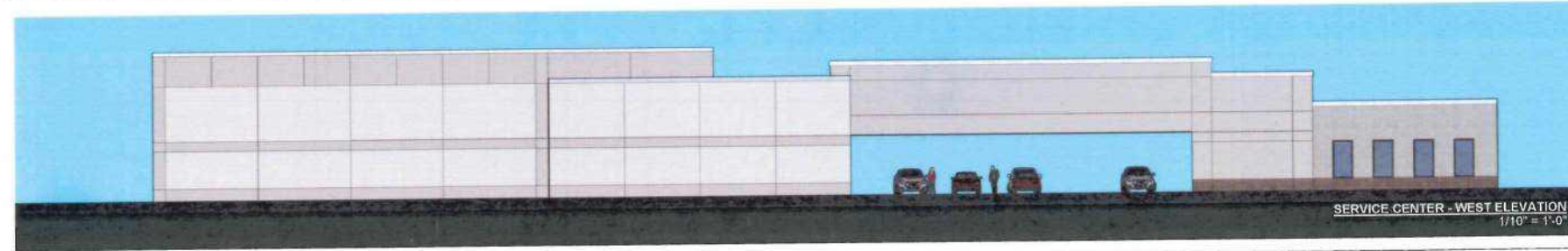
SERVICE AND PARTS

Materials	Total %	North	East	South	West	Total
Masonry	3.1%		83%	60.6%	25%	23%
Metal**	8.2%	33%	45.3%	14.0%	26.6%	100%
Stone	7.6%					140
Concrete	79.8%	28.6%	3.0%	25.8%	41.6%	11,851
Tile	12.1%		100.0%			1,745
Total	100.0%	4,212	3,982	4,144	27,103	
Total Square Footage of Exterior Wall Area*		16,827				
*excludes fenestration and doors						
Total Square Footage of Class 1 Masonry Wall Area		3,950				
Total Square Footage of Class 2 Masonry Wall Area		33,817				
Total Percentage of Class 1 Masonry		23.2%				
Total Percentage of Class 2 Masonry		82.8%				
Total Percentage of Class 1 & 2 Masonry		95.8%				

** metal masonry is masonry substrate



SERVICE CENTER - SOUTH ELEVATION
1/10" = 1'-0"



SERVICE CENTER - WEST ELEVATION
1/10" = 1'-0"

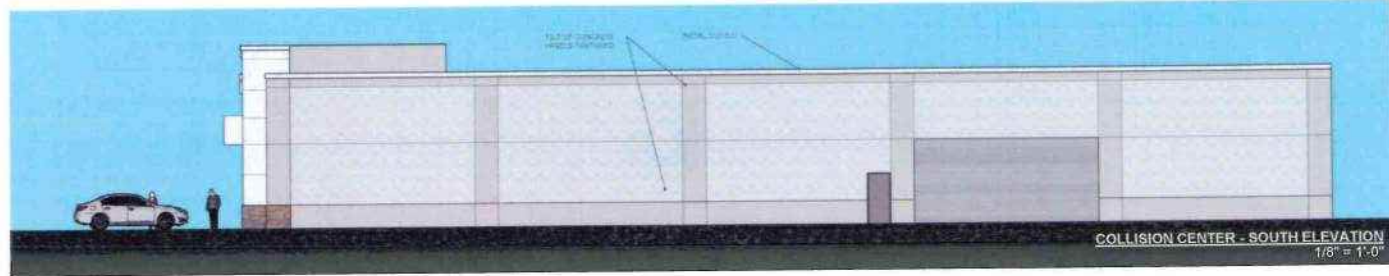
A NEW DEALERSHIP FACILITY FOR:
HUFFINES KIA / SUBARU
CORINTH, TEXAS

AUG 21, 2015

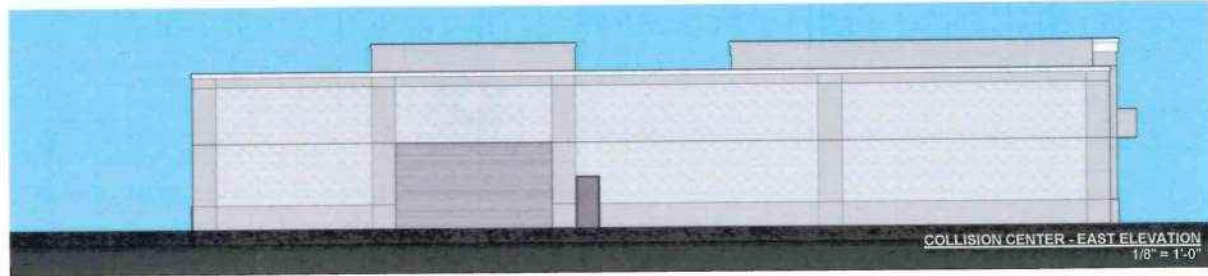
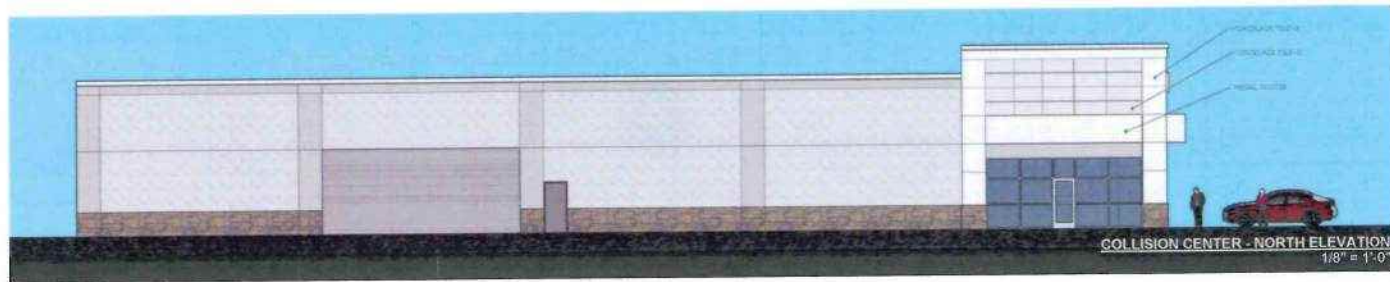
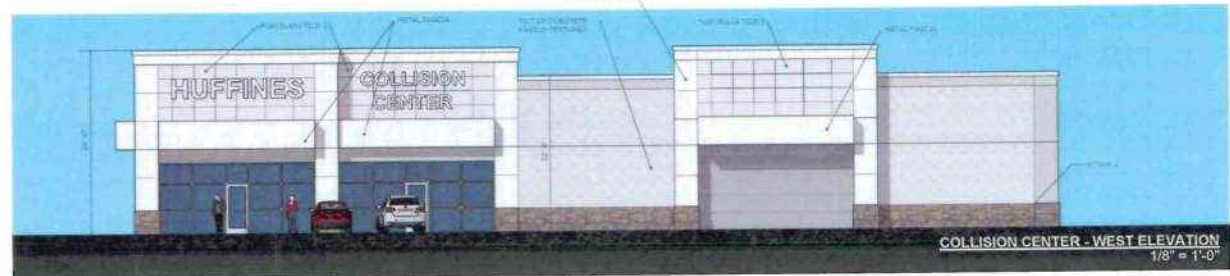
BUILDING
ELEVATIONS

A3.4

EXHIBIT "C" LAND USE REGULATIONS ELEVATIONS PLAN ORDINANCE #16-05-05-15



COLLISION CENTER		North		East		South		West		Total	
Material	sq. ft.	%	sq. ft.	%	sq. ft.	%	sq. ft.	%	sq. ft.	%	
Cladding	226	68.4%	86	10.9%	140	17.7%	335	42.4%	687	88.0%	
Metal**	259	29.6%	180	68.6%	120	12.4%	223	23.0%	562	72.0%	
Stone	445	46.0%	180	68.6%	120	12.4%	223	23.0%	562	72.0%	
Concrete	1,849	22.2%	3,461	25.0%	2,854	14.3%	1,158	13.0%	8,322	88.0%	
Tile	10.8%	843	26.2%	3,461	25.0%	2,854	14.3%	1,158	13.0%	8,322	88.0%
Total	3,090		3,461		3,134		3,309		12,044		
Total Square Footage of Exterior Wall Area*		11,381		*excludes fenestration and doors							
Total Square Footage of Class 1 Masonry Wall Area		2,366									
Total Square Footage of Class 2 Masonry Wall Area		9,322									
Total Percentage of Class 1 Masonry		19.9%									
Total Percentage of Class 2 Masonry		78.1%									
Total Percentage of Class 1 & 2 Masonry		98.1%		** most masonry have masonry basecoat							



A NEW DEALERSHIP FACILITY FOR:
HUFFINES KIA / SUBARU
CORINTH, TEXAS

AUG 21, 2015

BUILDING
ELEVATIONS

A3.5

EXHIBIT "C"
LAND USE REGULATIONS
PHOTOMETRIC PLAN
ORDINANCE #16-05-05-15



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LF	Description
■	7	A	2/180°	N.A.	0.900	SLS-LM175-C-B-175W-F-w
■	9	B	TWIN	N.A.	0.900	SLS-LM175-C-B-175W-F-w
■	18	C	SINGLE	N.A.	0.900	SLS-LM175-C-B-175W-F-w
■	2	D	SINGLE	N.A.	0.900	SLS-LM175-C-B-175W-F-w
■	5	DI	SINGLE	N.A.	0.900	SLS-LM175-C-B-175W-F-w
■	5	II	SINGLE	N.A.	0.900	SLS-LM175-C-B-175W-F-w
■	21	II	SINGLE	N.A.	0.900	SLS-LM175-C-B-175W-F-w
■	20	II	SINGLE	N.A.	0.900	SLS-LM175-C-B-175W-F-w
■	39	H	SINGLE	N.A.	0.900	KACMI LED 400 350 40K R1 MVDLT 14.0" Mounting Height

CONTACT JEFF HOINSKI @ JHOINSKI@SITELIGHTINGSOLUTIONS-DEA.COM FOR PRICING

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Front of Site	illuminance	Fc	10.24	19.9	4.2	2.44
Rear Site	illuminance	Fc	4.28	12.6	0.0	0.00

Site Lighting Solutions
2707 SATSUMA
DALLAS, TX
75229

Project PM:
J.A.H

Corinth Huffines Kia / Subaru

- Revisions:**
- (1) 6/07/2015**
 - (2) 8/06/2015**
 - (3) 8/24/2015**
 - (4) 9/11/2015**
 - (5) 2/28/2016**
 - (6) 3/22/2016**

Drawing Number:
SLS-313A

Date:
5/17/2015

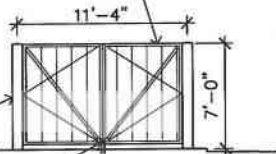
Scale:
1" = 60'

EXHIBIT "C"
LAND USE REGULATIONS
COMPACTOR DETAIL PLAN
ORDINANCE #16-05-05-15

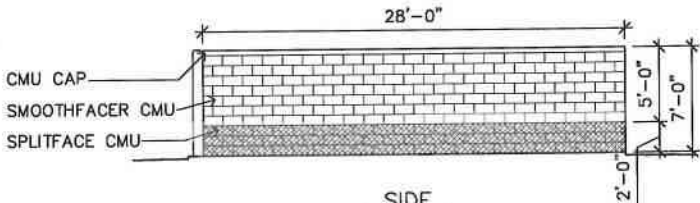
SOLID GATE, 2x2 TUBE STEEL WITH 1x2
ANGLE BRACE FRAME WITH PREFINISHED
METAL R-PANEL INSET. USE 1x1 ANGLES
AT PERIMETER FOR R-PANEL SUPPORT.

6" DIA. CONCRETE FILLED
PIPE BOLLARDS WITH
BOLLARD COVER, WELD
HEAVY DUTY PIVOTS TOP/
BOTTOM FOR GATE.

PROVIDE HEAVY DUTY
GALVANIZED STEEL
LATCH AND CANE BOLTS.



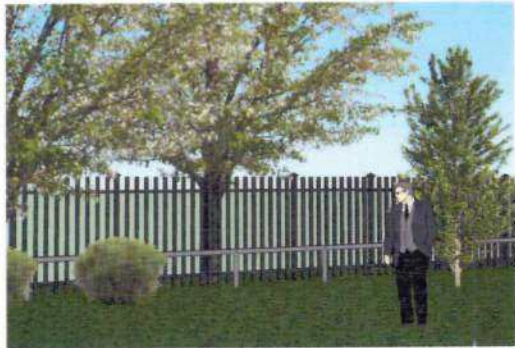
FRONT



SIDE

COMPACTOR TYPICAL ELEVATIONS

EXHIBIT "C"
 LAND USE REGULATIONS
 FENCING AND SIGNAGE PLAN
 ORDINANCE #16-05-05-15



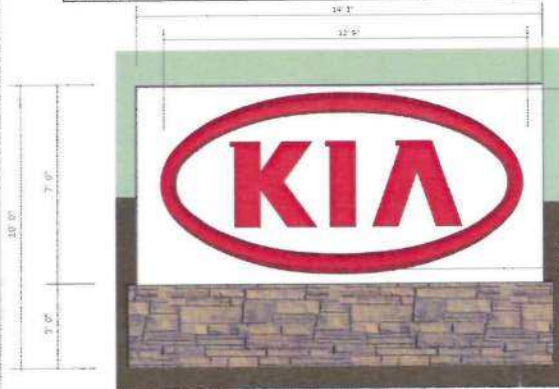
FENCE TYPE #1
 6'-0" HIGH MINIMUM ORNAMENTAL METAL FENCE WITH PIPE RAIL



FENCE TYPE #2
 6'-0" HIGH MINIMUM MASONRY FENCE

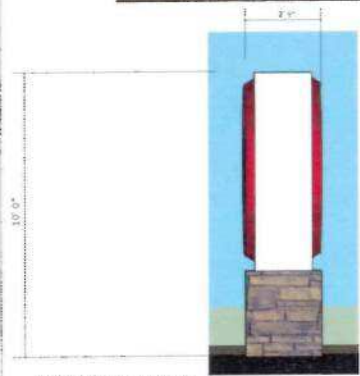


FENCE TYPE #3
 2'-0" HIGH RAIL

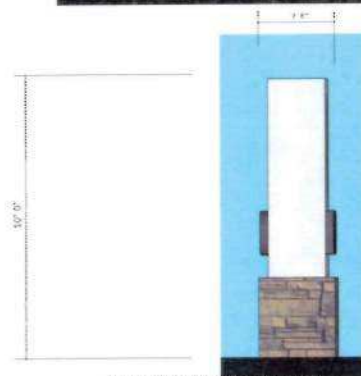


DEALER PROVIDED LOGO
 ON PREFINISHED
 METAL PANEL,
 TYPICAL

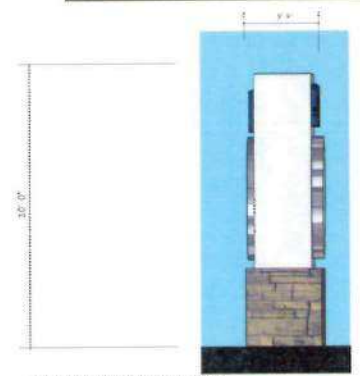
3' HIGH STONE BASE, TYPICAL



KIA MONUMENT SIGN
 1/2" = 1'-0"



PRE-OWNED MONUMENT SIGN
 1/2" = 1'-0"



SUBARU MONUMENT SIGN
 1/2" = 1'-0"

EXHIBIT "C"
 LAND USE REGULATIONS
 PHASING PLAN
 ORDINANCE #16-05-05-15



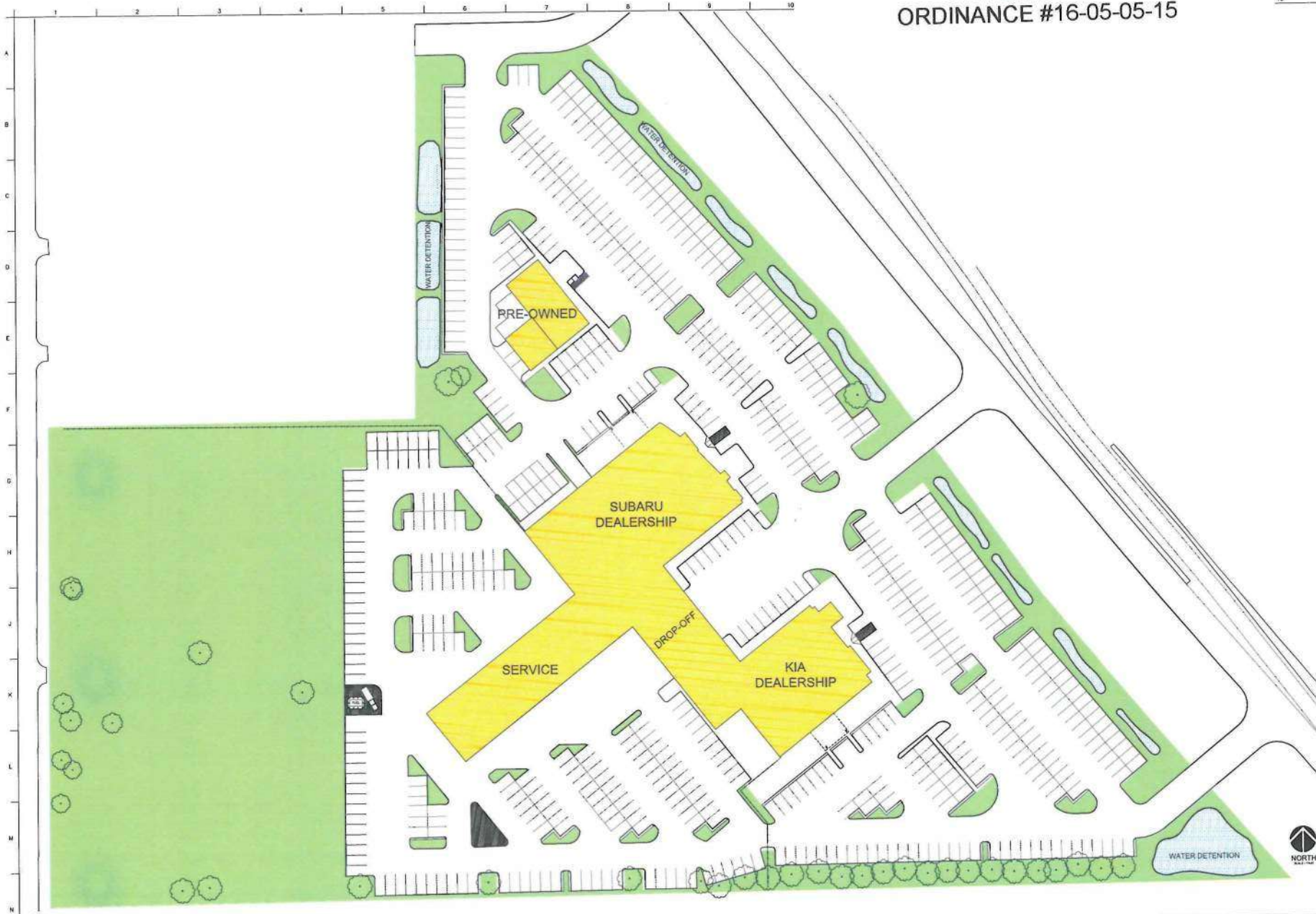
A PLUS DESIGN GROUP
 ARCHITECTURE
 INTERIORS
 CONSTRUCTION
 972-724-4440
 972-691-7731 FAX

APDG US
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Trent W. Clark, Architect
 TX Registration # 72084

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

These Drawings are
 incomplete and may require
 use of regulations and/or
 permit, or construction.



A NEW DEALERSHIP
 FACILITY FOR:
HUFFINES KIA / SUBARU
 CORINTH, TEXAS

REVISIONS		
NO.	DATE	NOTE

Drawn by: A.M.
 Checked by: T.C.
 Project No.: 15-0328
 Date: 03-18-2016



N1 SITE PLAN -PHASE I
 SCALE: 1"=40'

EXHIBIT "C"
 LAND USE REGULATIONS
 PHASING PLAN
 ORDINANCE #16-05-05-15



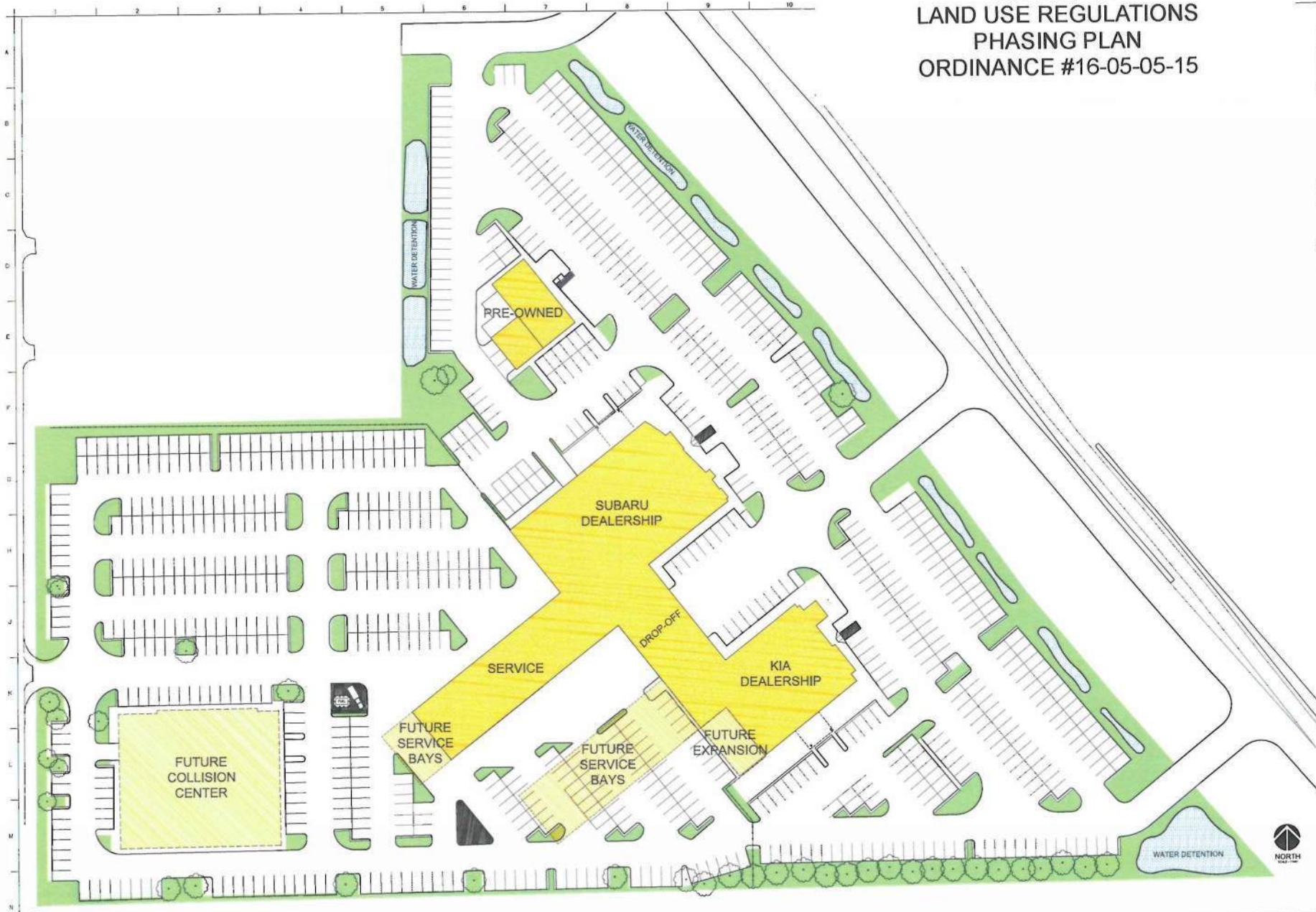
A PLUS DESIGN GROUP
 ARCHITECTURE
 INTERIORS
 CONSTRUCTION
 972-724-4440
 972-691-7731 FAX

APDG US

Trent W. Clark, Architect
 TX Registration #72084

PRELIMINARY
 NOT FOR
 CONSTRUCTION

These Drawings are
 Incomplete and may require
 use of regulatory approval,
 permits, or construction.



A NEW DEALERSHIP
 FACILITY FOR:
HUFFINES KIA / SUBARU
 CORINTH, TEXAS

REVISIONS		
NO.	DATE	NOTE

Drawn by: A.M.
 Checked by: T.C.
 Project No.: 15-0329
 Date: 03-18-2016

N1 SITE PLAN - PHASE II
 SCALE: 1"=40'



ORDINANCE NO. 17-12-07-17

HUFFINES AUTO ADDITION - PD MX-C – AMENDED PD

AN ORDINANCE AMENDING THE COMPREHENSIVE ZONING ORDINANCE BEING A PART OF THE UNIFIED DEVELOPMENT CODE, ORDINANCE NO. 13-05-02-08, AS AMENDED AND AMENDING PLANNED DEVELOPMENT ORDINANCE NO. 16-05-05-15 (PD MX-C) ON PROPERTY LEGALLY DESCRIBED ON THE APPROVED PLAT AS LOT 1, BLOCK A HUFFINES AUTO ADDITION, BEING 13.773 ACRES OF LAND SITUATED IN THE E. A. GARRISON SURVEY, COUNTY ABSTRACT 511 BEING TRACTS 36, 35, 34, 33, AND 24 IN THE CITY OF CORINTH, DENTON COUNTY, TEXAS; PROVIDING FOR AN UPDATED PD DESIGN STATEMENT AND A PD DESIGN MAP; PROVIDING FOR AMENDED DETAILED SITE PLAN DOCUMENTS; PROVIDING FOR AMENDED USE AND LAND USE REGULATIONS; PROVIDING A LEGAL PROPERTY DESCRIPTION; APPROVING A PLANNED DEVELOPMENT MASTER PLAN; PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000; PROVIDING FOR PUBLICATION AND A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas has adopted Ordinance No. 13-05-02-08, which adopts a Unified Development Code, which includes the Comprehensive Zoning Ordinance and which, in accordance with the City's Comprehensive Plan, establishes zoning districts and adopts a Zoning Map; and

WHEREAS, the hereinafter described property is zoned as Planned Development Classification under the City's Unified Development Code and a person having a proprietary interest in the property has requested a change in the zoning classification of said property; and

WHEREAS, the Planning and Zoning Commission of the City of Corinth and the City Council of the City of Corinth, having given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the City of Corinth City Council is of the opinion that said change in zoning should be made; and

WHEREAS, the City Council considered the following factors in making a determination as to whether the requested change should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the sites; safety from fire hazards and damages; noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; relationship and appropriateness of any changes to both the existing land use plan, comprehensive plan, and other planning documents of the City; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street loading spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; effect on the over-crowding of the land; effect on the concentration of population, and effect on transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the districts; their peculiar suitability for particular uses, aesthetic quality of the architectural design, the design consistency throughout the site, the preservation of site integrity, the consistency of landscape design, the environmental quality impact of the bio-swale and detention facilities, the efforts to contribute to the overall community design objectives including adjacent properties, and provide a positive example for future projects, and

WHEREAS, the City Council further considered among other things the character of the districts and their peculiar suitability for particular uses and the view to conserve the value of the buildings, and encourage the most appropriate use of the land throughout this City; and

WHEREAS, the City Council finds that the change in zoning promotes the health and the general welfare, provides adequate light and air, prevents the over-crowding of land, avoids undue concentration of population, and facilitates the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; and the general health, safety and welfare of the community;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

SECTION I - LEGAL PROPERTY DESCRIPTION; AMENDMENT

That in accordance with the Unified Development Code, which includes the Comprehensive Zoning Ordinance of the City of Corinth, Texas, as heretofore amended is hereby amended by amending "Exhibit C" Use and Area Regulations and "Exhibit D" Site Plan" documents on 13.773 acres of land described in "Exhibit A" attached hereto, amending this Planned Development Mixed Use-Commercial (PD MX-C) district.

SECTION II – PLANNED DEVELOPMENT MASTER PLAN

The amended PD Design Statement and PD Concept Design Map documents described as "Exhibit B" attached hereto and made a part hereof are approved.

SECTION III – LAND USE REGULATIONS

- A. The Zoning and Land Use Regulations set forth in "Exhibit C" and the Detailed Site Plan Documents set forth in "Exhibit D" attached hereto and made a part hereof for all purposes shall be adhered to in their entirety for the purposes of this Planned Development Mixed Use-Commercial District. In the event of conflict between the provisions of "Exhibit C" Use and Area Regulations and provisions of any other exhibit, the provisions of "Exhibit C" Use and Area Regulations control.
- B. That the zoning regulations and districts as herein established have been made in accordance with the Comprehensive Plan for the purpose of promoting the health, safety, morals and the general welfare of the community. They have been designed, with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to provide adequate light and air; to prevent over-crowding of land; to avoid undue concentration of population; and to facilitate the adequate provision of transportation, water, sewerage, drainage and surface water, parks and other commercial needs and development of the community. They have been made after a full and complete hearing with reasonable consideration among other things of the character of the district and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community
- C. If, after two years from the date of approval of the Planned Development Master Plan, no substantial development progress has been made within the PD, then the Planned Development Master Plan shall expire. If the Planned Development Master Plan expires, a new Planned Development Master Plan must be submitted and approved according to the procedures within the Unified Development Code, Planned Development Application and Review. An extension of the two year expiration shall

be granted if a development Application for the PD has been submitted and is undergoing the development review process or if the Director of Planning determines development progress is occurring.

- D. The Planned Development Master Plan shall control the use and development of the property, and all building permits and development requests shall be in accordance with the plan until it is amended by the City Council. The property owner shall furnish a reproducible copy of the approved PD Concept Design Map for signature by the Mayor and acknowledgement by the City Secretary. The Planned Development Master Plan, including the signed map shall be made a part of the permanent file and maintained by the City Secretary.

SECTION IV – PENALTY FOR VIOLATIONS

Any person, firm, or corporation violating any of the provisions of this ordinance shall upon conviction be fined a sum not to exceed two thousand dollars (\$2,000.00); and each and every day that these provisions are violated shall constitute a separate and distinct offense.

SECTION V – SEVERABILITY CLAUSE


If any section, paragraph, clause, phrase or provision of this ordinance shall be adjudged invalid or held unconstitutional, the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof, other than the part so decided to be invalid or unconstitutional.

SECTION VI – EFFECTIVE DATE

This ordinance shall become effective after approval and publication as provided by law.

PASSED AND APPROVED THIS 7th DAY OF DECEMBER, 2017.

APPROVED:




Bill Heidemann, Mayor

ATTEST:



Kimberly Pence, City Secretary

APPROVED AS TO FORM:



City Attorney

EXHIBIT "A"
LEGAL DESCRIPTION
13.773 ACRES

BEING all that certain lot, tract or parcel of land situated in the E. A. Garrison Survey, Abstract Number 511, City of Corinth, Denton County, Texas, being part of that certain called 20 acre tract of land, described in deed to Dorothy Williams Family Partners, Ltd., recorded in Document Number 1999-82645 of the Real Property Records of Denton County, Texas, and being part of that certain called one acre tract of land described in deed to Imogene Duncan, recorded in Volume 537, Page 326 of the Deed Records of Denton County, Texas, and being part of that certain called one acre tract of land described in deed to Imogene Duncan, recorded in Volume 529, Page 254 of the Deed Records of Denton County, Texas, and being part of that certain called one acre tract of land described in deed to Imogene Duncan, recorded in Volume 537, Page 327 of the Deed Records of Denton County, Texas and being part of that certain called one acre tract of land described in deed to Imogene Duncan, recorded in Volume 639, Page 592 of the Deed Records of Denton County, Texas, and being part of Tracts E, F, G and H as shown on the plat for H. R. Williams subdividing the west portion of the H. R. Williams First Tract and Second Tract, an addition to the Town of Corinth, Denton County, Texas, according to the plat thereof recorded in Cabinet J, Page 6 of the Plat Records of Denton County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" capped rebar found (Sam Inc. TXDOT) at the southwest corner of that certain called 0.478 acre tract of land described in deed to SEL Meadows Oak, LLC, recorded in Document Number 2008-712 of the Real Property Records of Denton County, Texas, and being on the east line of Tract A of said H. R. Williams Subdivision, and being on the east line of that certain called one acre tract of land, described in deed to Stephen G. Sferlazza, recorded in Volume 4079, Page 983 of the Deed Records of Denton County, Texas, from which a 1/2" capped rebar found (Precise) at the northeast corner thereof, bears N 00°25'00" W, 99.59 feet;

THENCE N 88°50'30" E, 160.95 feet with the south line of said 0.478 acre tract, to a Texas Department of Transportation Monument found at the southerly southwest corner of that certain called 0.828 acre tract of land, described as Parcel 17 in deed to the State of Texas, recorded in Document Number 2014-16066 of the Real Property Records of Denton County, Texas, being the northwest corner of that certain called 1.635 acre tract of land, described as Parcel 14 in deed to the State of Texas, recorded in Document Number 2014-78948 of the Real Property Records of Denton County, Texas, and being on the west line of Interstate Highway 35E, from which a 1/2" capped rebar found (Arthur Survey) at the northeast corner of said Parcel 14 and the southeast corner of said Parcel 17, bears N 88°50'30" E, 88.61 feet;

THENCE with the west line of said Parcel 14 and the west line of said Interstate Highway 35E the following:

S 41°46'40" E, 379.73 feet to a Texas Department of Transportation Monument found;

S 35°58'30" E, 332.11 feet to a Texas Department of Transportation Monument found;

S 39°51'30" E, 160.49 feet to a Texas Department of Transportation Monument found;

S 40°39'50" E, 210.32 feet to a Texas Department of Transportation Monument found at the southwest corner of said Parcel 14, being on the south line of said 20 acre tract, and being on the north line of that certain Called 20.121 Acre tract of land described in deed to Destiny Dallas LP, recorded in Document Number 1999-9138 of the Real Property Records of Denton County, Texas, from which a 5/8" rebar found at the southeast corner of said Parcel 14 and the southeast corner of said 20 acre tract and the northeast corner of said Destiny Dallas LP tract bears N 89°12'10" E, 87.94 feet;

THENCE S 89°12'10" W, with the south line of said 20 acre tract, and the north line of said 20.121 acre tract, passing at 855.12 feet the southeast corner of said Tract H, being the southeast corner of said Imogene Duncan tract recorded in Volume 537, Page 326, continuing with the south line thereof, a total distance of 1210.18 feet to a 1/2" capped rebar set (G&A Consultants) at the southeast corner of that certain called 0.014 acre tract of land, described in deed to the City of Corinth, recorded in Document Number 2005-89410 of the Real Property Records of Denton County, Texas, and being on the east line of Tower Ridge Drive;

THENCE N 00°05'00" E, with the east line of said Tower Ridge Drive, and the east line of said 0.014 acre tract, passing at 117.97 feet a 1/2" capped rebar set (G&A Consultants) at the northeast corner thereof, being the southeast corner of that certain called 0.015 acre tract of land, described in deed to the City of Corinth, recorded in Document Number 2005-89407 of the Real Property Records of Denton County, Texas, being on the north line of said Tract H and the north line of said Imogene Duncan tract recorded in Volume 537, Page 326, and being on the south line said Tract G, and the south line of said Imogene Duncan tract, recorded in Volume 529, Page 254, from said point a 5/8" capped rebar found (Cotton) bears S 00°05'00" W, 1.0 feet, continuing with the east line of said 0.015 acre tract, passing at 235.75 feet the northeast corner thereof, and being the southeast corner of that certain called 0.017 acre tract of land, described in deed to the City of Corinth, recorded in Document Number 2005-89406 of the Real Property Records of Denton County, Texas, being on the north line of said Tract G, and the north line of said Imogene Duncan tract recorded Volume 529, Page 254, and being on the south line of said Tract F, and said Imogene Duncan tract recorded in Volume 537, Page 327, continuing with the east line of said 0.017 acre tract, passing at 353.53 feet a 1/2" capped rebar found (Cotton) at the northeast corner thereof, being the southeast corner of that certain called 0.019 acre tract of land, described in deed to the City of Corinth, recorded in Document Number 2005-89405 of the Real Property Records of Denton County, Texas, being on the north line of said Tract F, and the north line of said Imogene Duncan tract recorded in Volume 537, Page 327, and being the south line of said Tract E, and the south line of said Imogene Duncan tract recorded in Volume 639, Page 592, continuing with the east line of said 0.019 acre tract, a total distance of 471.31 feet to a 1/2" capped rebar found (COTTON) at the northeast corner thereof, being the southeast corner of that certain called 0.021 acre tract of land, described in deed to the City of Corinth, recorded in Document Number 2005-90592 of the Real Property Records of Denton County, Texas, being the north line of said Tract E, and the north line of said Imogene Duncan Tract recorded in Volume 639, Page 592, and being on the south line Tract D of said H. R. Williams Subdivision, and the south line of that certain tract of land, described in deed to Lionel E. Caldwell & Charmaine M. Caldwell, recorded in Volume 4578, Page. 1656 of the Deed Records of Denton County, Texas;

THENCE N 89°15'00" E, 357.80 feet with the north line of said Tract E and the north line of said Imogene Duncan tract recorded in Volume 639, Page 592, and the south line of said Tract D and the south line of said Caldwell tract to a 1/2" capped rebar set (G&A Consultants) at the southeast corner thereof, and being the northeast corner of said Tract E and the northeast corner of said Imogene Duncan tract recorded in Volume 639, Page 592;

THENCE N 00°25'00" E, with the east line of said Tract D and the east line of said Caldwell tract, passing at 117.85 feet a 1/2" capped rebar found (Alliance) at the northeast corner thereof, being the southeast corner of Tract C of said H. R. Williams Subdivision, and being the southeast corner of that certain called one acre tract of land, described in deed to Curtis L. Page & wife Patsy E. Page, recorded in Document Number 2005-88612 of the Real Property Records of Denton County, Texas, continuing with the east line thereof, passing at a distance of 235.70 feet a 1/2" rebar found at the northeast corner of said Tract C and the northeast corner of said Page tract, and being the southeast corner of Tract B of said H. R. Williams Subdivision and the southeast corner of that certain called one acre tract of land described in deed to Dwight R. Walker, recorded in Document Number 2005-88616 of the Real Property Records of Denton County, Texas, continuing with the east line thereof, passing at 353.54 feet the northeast corner thereof, and being the northeast corner of said Tract B and the northeast corner of said Dwight R. Walker tract, and being the southeast corner of said Tract A and the southeast corner of said Sferlazza tract, continuing with the east line thereof, a total distance of 372.28 feet to the **POINT OF BEGINNING** and containing approximately 13.773 acres of land.

**EXHIBIT “B”
HUFFINES KIA SUBARU DEALERSHIP PD MASTER PLAN
CONSISTING OF
PD DESIGN STATEMENT**

- i. This project / ordinance shall be referenced as the Huffines Automotive Planned Development Ordinance.
- ii. The owner / developer of the project will be Huffines Children’s Trust, the Trustee is James Huffines. While the Children’s Trust is the owner of the property and Developer, it works very closely with Huffines Automotive Dealerships of which the President S. Ray Huffines.
- iii. The property is located approximately 300 feet south of Meadows Oak, west of the I-35 ROW, north of the Destiny Dallas mobile home park, and partially abuts Tower Ridge Drive. Adjoining Land uses in relationship to the site are:
 - o North – approximately 3 acres zoned Mixed –Use Non-Residential Zoning – MX-C; there is currently a non-conforming single family house on the property, however, the property is being marketed for the commercial uses consistent with the existing zoning.
 - o East – I-35 highway and expanded right of way.
 - o South – approximately 10 plus acres zoned Mixed–Use Non-Residential Zoning – MX-C; approximately 2 to 3 acres of the frontage along I-35 is vacant and appropriate for use as zoned; the balance of the property is used as a non-conforming mobile home park.
 - o West of Tower Ridge Drive near the south half of the proposed project is the clubhouse and leasing office for a multi-family apartment complex; to the north of the multi-family project up to Meadows Oak the property is zoned Mixed–Use Non-Residential Zoning – MX-C and is currently anticipated for a new church site.
 - o East of Tower Ridge Drive and adjacent to the north half of the proposed project are 3 lots of approximately 1 acre each making a total of approximately 3 acres of land zoned Mixed–Use Non-Residential Zoning – MX-C; one of the lots (the one immediately north the subject tract) is currently a non-conforming rent house which the owner plans to remove and transition the property to a commercial use.

The subject property was zoned PD MX-C on May 5, 2016. The properties to both the north and south are all zoned and projected for various commercial uses. Tower Ridge serves as a common N-S access collector immediately west of the subject property. The I-35 service roads serve as the prime access along the east frontage of the subject property and the properties to the north and south. Special efforts have been taken to assure that the adjacent properties (and resultant City development opportunities) are optimized by considering the extension of drainage, utilities, and accessibility which is a special issue considering the limited access nature of the I-35 corridor which restricts ingress and egress.

Thus, joint access has been accommodated on the Final Plat which has been approved by the Planning and Zoning Commission and the civil construction plans have been approved by the City Engineer. The joint access concept has been restructured with the most recent Site Plan submittal which will be incorporated into the Ordinance update. The only proposed connectivity between any of the properties is the proposed mutual access easement between the subject property and the property to the north. When Lake Sharon Dr. is extended under and east of I-35 it will become a thoroughfare connecting much of the property west of I-35 to the east side of I-35.

There are three parcels approximately 1 acre each adjacent to the site. Two parcels that are not part of the pending site acquisition plus one parcel that is to be purchased, but not zoned. The land use for all three of these parcels is Mixed Use Non-Residential. From south to north: the south most parcel is currently being used as a residential rental property; the next parcel to the north is for sale at this time for commercial uses; the third and north most of the three 1 acre lots is being acquired by the applicant, but is not part of the zoning application.

It is noted that the property adjacent to Lake Sharon and one additional property east of Tower Ridge have existing residential use.

- iv. The subject property is approximately 13.773 acres was approved as the new location for Huffines Automotive Dealerships in Corinth by the existing PD ordinance.

The design concept for the site and overall development approved by the existing PD and only slightly modified by the current application for amending the current PD Ordinance and the latest associated Concept Plan is summarized as follows:

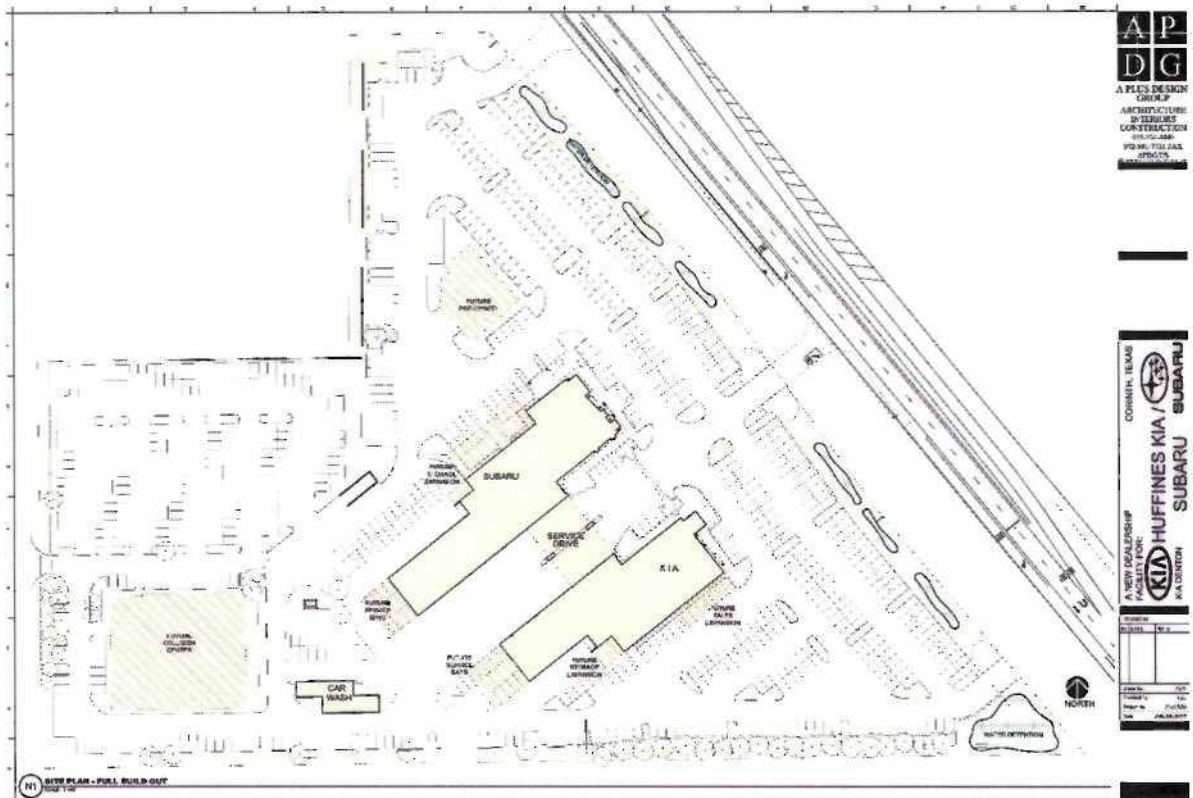
To establish a new concept Automobile Dealership for Auto Sales and maintenance based on a campus style land plan that:

- a. Focuses three human scale, moderate sized sales buildings on the I-35 frontage with supporting structures generally behind the sales buildings. Both of the new auto dealerships being constructed in Phase I and Phase II service / maintenance expansion are bridged or connected between the two new vehicle dealerships, and share a common customer vehicle entrance corridor between the two sales and service buildings. While it appears that there is one large building encompassing the two primary new vehicle dealerships and service facilities, there are actually two main buildings connected with a multi-bay open air covered service entrance or canopy.
- b. Actual service and maintenance facilities extend to the west behind the sales buildings. A service / collision repair facility is also located behind the dealership sales buildings. The customer sales facilities are oriented for full / direct visibility from I-35E; service and maintenance facilities will be located behind the sales buildings and thus are substantially buffered from view by the dealership sales structures. PD amendments proposed.

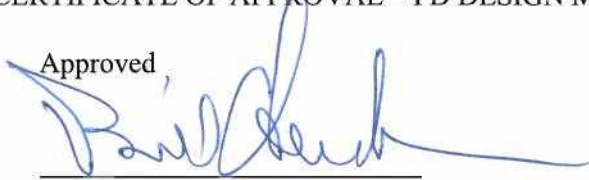
- v. In the original Concept Site Plan, a car wash had been planned for the back two bays. However, that plan would make expansion of service facilities more difficult and could introduce more movement at the service bays than desired. Therefore, it is proposed that a separate, free standing car wash be placed between the service buildings and the future Collision Center as shown on the newly submitted Site Plan. This is one of the specific issues for which an amendment to the PD is being requested. The car wash is a very small structure and will be designed to blend with the architecture of the two adjacent buildings (service and collision).
- vi. Applicant is requesting that the SUP provision for the Collision Center be eliminated by this zoning amendment and that the use be provided by right. Conditions and design considerations for the use right are provided for in the appropriate section of the use regulations as well as additional screening and landscaping.
 - c. Maintains several mature trees and supplements existing vegetation with new landscaping in compliance with City standards. Where possible, existing tree masses will be preserved and will serve as a perimeter buffer.
 - d. Goes beyond basic requirements of site and landscape design by the inclusion of a front bio-swale within the required landscape setback. The bio-swale filters runoff water from the property through an underground filtration system, and is also landscaped using a combination of shrubs, turf grass, and trees while channeling the runoff through bio-swales that act as a series of detention ponds.
 - e. A low pipe rail will encircle the property. Along the frontage, the pipe rail will be supplemented with low shrubbery and vegetation, concealing much of the pipe rail along the frontage and visible areas along the north and south property lines near I-35.
 - f. Separate monument signage as required for each sales building or franchise will be incorporated along the frontage behind TXDOT ROW within the project landscape setback as approved in the existing PD. Additional signage identifying each franchised dealership and the pre-owned sales buildings will be incorporated into structures by providing appropriate locations on the front and sides of the buildings for signage. Details of building signage have been provided illustrating location, distribution, and spacing of signage.
 - g. The Concept Plan provides for on-site growth based on the projected and current market demand for the Auto franchises which will be relocated from another site to the proposed site. It is noted that the existing dealership location farther north is inadequate for current design and size requirements for Automobile Dealerships due to inadequate acreage and the reality that the TXDOT R.O.W. takings push the service / access roads too close to the existing structures to maintain customer and display parking in front of the buildings. The applicant has, as committed in the original zoning, deed restricted the old (current) dealership site to surrender the grandfathered zoning and not be usable for auto sales unless specifically zoned for such by the City. Therefore, it is expected that the existing dealership site approximately two miles to the north will be redeveloped into uses more suitable for the size of the property.

- vii. No other existing PD zoning districts are known to exist in the general area near the proposed project.
- viii. The "MX-C" Mixed – Use Commercial District, including the regulations of the Corinth Unified Development Code, per the City of Corinth Unified Development Code was selected as the base zoning district to regulate all uses and development regulations not identified as being modified by the subject PD regulations. The PD regulations hereinafter are being slightly amended to provide for the special provisions required for the subject use to function as full sales and service automobile dealerships.
- ix. There are only three existing streets or roadways that impact or serve the subject property (no new streets or roadways are anticipated or provided for in the City Comprehensive Plan). The three existing streets / roadways are: I-35, a high speed freeway with service roads that is undergoing expansion and reconfiguration by TXDOT; Lake Sharon Dr., a two lane existing road that will become an east – west thoroughfare (future ROW and expansion are anticipated); and Tower Ridge Trail, a north south collector that has recently been expanded to its probable ultimate size of a collector.
- x. The property elevation generally ranges from 623 feet to 591 feet and is a gently rolling site sloping to the center from both the east and west. The property drains to both the north and south providing for natural drainage both north and south. The site features a combination of Birome and Gasil fine sandy loams.
- xi. A list of all applicable special development regulations or modified regulations to the base zoning district; plus a list of Subdivision Waivers requested to the Subdivision Regulations or other applicable development regulations:
 - Landscape Regulations
 - Vehicle Parking Regulations
 - Residential Adjacency Standards
 - Exterior Façade Materials
 - Sign Regulations
 - Fencing and Screening Regulations
 - Parking Lot Curbing
 - Lighting and Glare
 - Uses

PD CONCEPT DESIGN MAP



CERTIFICATE OF APPROVAL – PD DESIGN MAP

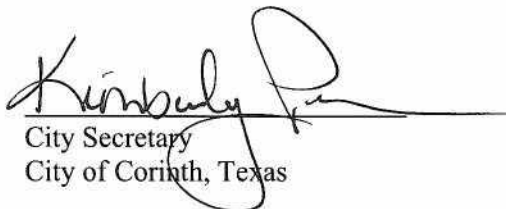
Approved
 12/11/17

Mayor, City of Corinth, Texas

Date

The undersigned, the City Secretary of the City of Corinth, Texas, hereby certifies that the foregoing Design Map for Huffines Kia Subaru amended Master Planned Development was submitted to the City Council on the 07th day of December, 2017 and the Council by formal action, then and there accepted the PD Design Map, and said Council further authorizes the Mayor to note the acceptance thereof by signing his/her name as hereinabove subscribed.

Witness by hand this 11th day of December, 2017.


City Secretary
City of Corinth, Texas

12/11/2017
Date

**EXHIBIT “C”
LAND USE REGULATIONS**

SECTION 1: REGULATIONS

A. Purpose

The regulations set forth in “Exhibit C” and “Exhibit D” provide development standards for Non-Residential Mixed Use-Commercial designations along with uses associated with New and Used Automotive Dealerships – Sales and Service, Auto-Body Shop, Car Wash, Outside Display and Above Storage Fuel Dispensing. Every use not authorized herein is expressly prohibited in this Planned Development Mixed Use Commercial (PD MX-C) District.

B. Base Districts

The MX-C, Mixed Use-Commercial District regulations of the Corinth Unified Development Code, Ordinance No. 13-05-02-08, as amended, shall apply except as modified herein.

SECTION 2: USES AND AREA REGULATIONS:

A. Purpose

This district is intended to provide for development of two new automobile dealerships, one previously-owned dealership, two connected service centers and parts inventory and sales, a car wash, outside display and a collision center.

B. Permitted Uses and Use Regulations

In the Planned Development (PD) District for Mixed Use-Commercial Uses, no building or land shall be used and no building shall be hereafter erected, reconstructed, enlarged or converted, unless permitted by the Mixed-Use Commercial (MX-C) District regulations of the Unified Development Code except as otherwise included in this PD Ordinance.

The Permitted Uses in the MX-C, Mixed-Use Commercial District as listed in Subsection 2.07 of the Unified Development Code, shall be permitted uses and shall also include the following use:

1. Automobile Sales and Service
2. Above Ground Fuel Tank; servicing the primary use
3. Automobile Body Shop; servicing the primary use
4. Automated Car Wash; servicing the primary use

The following uses are permitted under MX-C zoning, but shall not be permitted within this Planned Development District by Specific Use Permit or any other means:

1. Assisted Living/Nursing Home
2. Dwelling, Single Family (detached)
3. Dwelling, Single Family (attached – duplex)
4. Dwelling, Multi-Family
5. Modular (Industrialized) Home
6. Retirement Housing
7. Studio Residence

C. Development Standards

The Development Standards for this PD are the development standards for MX-C Mixed-Use Commercial, Section 2.06.02 of the City's Unified Development Code except as otherwise stated herein.

1. UDC 2.07.07 **Accessory Buildings and Uses** shall apply.
2. UDC 2.08.05 **Nonresidential Dimensional Regulations Chart** shall apply.
3. UDC 2.09.01 **Landscape Regulations** shall.
4. UDC 2.09.02 **Tree Preservation Regulations** shall apply.
5. UDC 2.09.03 **Vehicle Parking Regulations** shall apply except for the following clarifications and supplemental regulations:
 - a. The provisions of UDC 2.09.03 shall apply for customer and employee parking and shall measure 10' x 20'. Employee parking shall be required for the number of employees on the site without regard for the square footage of the work area. Customer parking shall be calculated based on building square footage provided for customer shopping, financing and automobile transaction, waiting, and related public spaces. Areas for service, parts inventory and employee work stations may be excluded from the calculation of customer parking.
 - b. The parking ratio for customer accessible areas (including sales and lounge space) shall be 1 space per 350 square feet of floor area, as shown in the charts on the site plan associated with this PD.
6. UDC 2.09.04 **Building Façade Material Standards** shall apply except for the following:
 - a. The exterior facade guidelines have been established within the Site Plan Building Elevations and Percentages of Building Façade Materials charts provided in "Exhibit D".
7. UDC 2.09.05 **Residential Adjacency Standards** shall apply except:
 - a. UDC 2.09.05.1 Building materials will be permitted as shown on the Site Plan Building Elevations and Percentages of Building Façade Materials charts provided in "Exhibit D".
 - b. UDC 2.09.05.2 No building, including buildings with a footprint of six thousand (6,000) square feet or less (as provided for in the UDC 2.09.05), shall be required to feature a pitched roof so as to maintain continuity of architectural design across the entire site.
8. UDC 2.09.06 **Nonresidential Architectural Standards** shall comply with the architectural elevations provided in "Exhibit D".
9. UDC 2.09.07 **Lighting and Glare Regulations** shall be subject to the following exceptions and supplemental provisions:
 - a. LED light sources (luminaires) are accepted as a light source.

- b. UDC 2.09.07 C.3-4 (required turning off of Parking Luminaires and Building Luminaires). It is provided that site lighting is specifically considered to serve a prime security purpose across a large area of vehicle inventory, storage, and display and is critical for security. To achieve the security objective, the site lighting shall be permitted to maintain the design lighting standards (maximum of 19.9 fc, minimum of 4.2 fc, and 10.22 fc average along dealership frontage; maximum 12.6 fc, minimum of 0.0 fc, and 4.18 fc average on the balance of the project), except as follows:
 - c. UDC 2.09.07 G.1 (Intensity of Illumination from property to other adjacent properties). This provision shall apply to properties adjacent to the subject site based on the current zoning of the parcels (none are residential zoning). All said properties are projected to be commercial districts; thus maximum fc between properties shall be 3.0 fc for commercial district adjacency except for the above noted residential adjacencies until such time as the residual adjacency is eliminated.
 - d. Additional lighting detail:
 - i. All light sources (pole or building mounted) shall be shielded so as to not allow light to be directed off the property.
 - ii. Free standing light poles shall be a maximum of 22 feet tall, not counting the concrete base; standards may be mounted on concrete pedestals not to exceed 30 inches in height.
10. UDC 4.01 **Sign Regulations** shall apply except as follows:
- a. UDC 401.15 C - Monument Sign provisions shall be adjusted as follows to reflect the extended distance from the proposed I-35 access roads to the property line and to encourage continuity with site landscaping:
 - i. There shall be a "0" setback from property line to the nearest portion of a monument sign (either base or sign face).
 - ii. Sign area and dimensions are as follows:
 - (a) Length (horizontal) of sign face shall be a maximum of 15'.
 - (b) Height (vertical) – Maximum vertical dimension of sign face shall be 7'.
 - (c) The sign backing (structure on which the sign face is mounted) shall not exceed 100 Square feet which shall be measured as the external dimension of the sign backing.
 - (d) Base – a maximum 3' tall base shall not be considered part of the sign face or sign backing structure if said base has no commercial message or logo.
 - (e) The maximum total height above ground level shall be 10'. (Note: landscaping complimentary to the overall landscape design may be installed adjacent to the sign base.)
 - iii. Maximum size per sign face (max of two faces per monument sign) shall be 85 SF per side for signs adjacent to I-35; any signs adjacent to any other roadway shall comply with the provisions of UDC 4.01.
 - iv. The sign face area shall be calculated as the maximum area encompassed by the vertical and horizontal limits of names, logos, or symbols within the sign face. The sign face may be mounted on a sign backing as defined above or may be used without any backing.
 - v. Each new or previously owned automobile dealership facility or building may have one (1) monument sign along I-35E access road frontage as would be allowed if such building was on a separately platted lot. The size of letters, logos, or symbols on the

monument signs provided for in Section 10a. shall be limited to the size of the sign face area and shall be proportionate to the overall size of the sign face message.

- vi. If, in the future, the sign ordinance is revised to allow for larger signage, any proposed monument sign shall be permitted to increase to the maximum allowable size to be consistent with the then-current design standards.

- b. On-site, free standing directional signage shall conform to the design criteria in the UDC, and shall be permitted based on an on-site directional signage plan submitted to and approved by the Director of Planning when such signage is requested by submittal of a sign or building permit. Such signs shall be allowed in the quantity and at locations as are approved by the Director of Planning. Directional signage may include directional information such as “service, parts, and similar related locations on the property” along with arrows or directional symbols.
- c. Attached Sign - Building Mounted Signage – Building mounted sign provisions are hereby adjusted as follows to reflect the extended distance between the proposed I-35 Highway and access roads and the property line and building line:
 - i. Business Identification Signage will be allowed on a maximum of three building elevations for each of the three dealership sales buildings. The maximum square footage of signage for all elevations shall be based on the current City of Corinth calculation limitation for the “front façade” square footage allowed as provided for in the UDC. The letter, logo, and / or symbol size for all building mounted name and business identification signage shall be restricted to the maximum total building name / identification square footage calculation as provided in the UDC for the “front façade”. Such “front façade” square footage calculation may be placed or distributed on multiple single plane facades as shown on the building elevations attached herewith. Additionally, the maximum letter size permitted shall be 36” tall.
 - ii. Service, Parts, and Other Building (such as service / collision building) Identification Needs shall be allowed one primary name / identification sign per building on either the building frontage facing toward the I-35 highway or facing west. Primary building names shall have a maximum of 36” high letters. Secondary building identification signs may be allowed on other building faces to provide building names for deliveries, etc. Secondary names and signage directing customers to service drive or entrance drives shall have a maximum of 24” high letters.
 - iii. Sign placement on building – there shall be no restriction on the placement of attached signs for building name or identification on the structure so long as the aggregate width of signage on the front façade of a building does not exceed 50% of the façade width. Customer directions for service entrance shall not be subject to this provision. Non-frontage elevations shall not be permitted to have signage exceeding 40% of the non-frontage façade width.
- d. Sign permits will require permitting aside from the building permit.

11. **UDC 4.02 Fence and Screening Regulations** shall apply except as follows:

- a. A pipe rail not to exceed 30” in height shall be allowed around any portion of the site to supplement security.
- b. In order to provide for screening and security through intensive existing trees and vegetation, metal decorative fencing (tubular steel, wrought iron, and other decorative steel

fencing, but not including chain link) shall be allowed around the perimeter of the site as illustrated on the Concept Plan. Said decorative metal fencing shall be no less than 6 feet and no more than 8 feet in height. Vegetative screening may be installed along with said fencing in areas where existing trees are not present to provide reasonable screening. If subsequently needed to provide needed screening for the internal areas used for storage of vehicles that are dismantled, wrecked, or in the process of being restored, a form of permitted solid or opaque fencing other than chain link must be approved by the Director of Planning.

- c. All decorative or security fencing, security pipe rail, and gates shall be shown on the site plan.
 - d. All exterior fencing shown on the site plan shall be located on the property line, except where such fencing may deviate to preserve native trees.
 - e. In non-vegetative areas, tubular metal fencing shall be used (generally in areas near frontage roads lacking existing trees and vegetation, but also as depicted on the Site Plan).
 - f. Concrete or masonry fencing shall not be required along the boundaries having a single family residential structure if such property is not zoned for single family use or if said property is expected to be redeveloped to non-residential uses.
 - g. Concrete (must be textured) or solid masonry fencing shall be required to screen the collision center along the site's frontage on Tower Ridge Drive as shown on the Site Plan Fencing/Screening elevations found in "Exhibit D".
 - h. All proposed fencing will require a fencing permit prior to construction.
12. Outside Display – outside vehicle (product) display is defined as positioning vehicles in locations intended to promote the brands, connect with consumer interest, highlight vehicle features, and show popular colors in a manner that rotates a variety of vehicles in locations as described below:
- a. Vehicle Parking Areas and Building Areas – These are locations behind the landscape setback where vehicles are parked for viewing in rows or in spots near or around the sales buildings that are reserved for vehicle display as indicated on the concept plan and / or illustrated in the provided pictorial graphics showing elevations and building perspectives.
 - b. Vehicle Display in Portion of Front Landscape Setback – a maximum of 10 vehicles (2 per side of entry drive) may be displayed in the westernmost 25' of the 30' landscape setback ("landscape setback vehicle locations") along the eastern North – South property line of the site (frontage adjacent to I-35) due to the unusually extreme distance between the east property line and the I-35 service road. The provision is subject to the following landscape vehicle display location criteria:
 - i. Be shown on the site plan or landscape plan.
 - ii. Blend with the landscape plan and bio-detention basins, including any sloping alignment of the vehicle (no mechanical or steel structure onto which vehicles are driven or placed); may include natural berms or blended stone bases onto which the vehicles are driven.
 - iii. Provide for a paved surface (including concrete, stamped concrete, or stone) that is designed to support the vehicle and preserve the integrity of the landscape.

- iv. Vehicle Display in a portion of the Front Landscape Setback will terminate as a right when the Texas Highway Department widens or enlarges the highway (or service / access roads), so that the service / access roads are within an average of 20' from the east property line of the subject property. Until that time, vehicles may remain on display after business hours and on weekends and holidays.

13. Project Phasing and Components Included in each phase:

- a. Phase I – shall include:
 - i. Two new vehicle dealership buildings / spaces and one pre-owned dealership building
 - ii. The initial service / maintenance / parts building for the site will be physically connected to the new vehicle dealership buildings / spaces.
 - iii. Parking required for each of the above facilities for customers, employees, and inventory
 - iv. 3 Paved ingress-egress locations from IH-35 service roads including the north-most ingress-egress location which is designated as a mutual access drive to serve the adjacent and subject properties. Note: it is understood that ingress-egress locations intersecting I-35 are subject to TXDOT approval.
 - v. Three monument signs – one for each dealership
 - vi. Pipe rail surrounding the site with movable entry pipe rail provisions at entrances
 - vii. Fencing as detailed on the site plan, including all types of fencing around the entire perimeter of the property
 - viii. One compactor dumpster unit to serve the property and the required access drives to service said compactor.
 - ix. As a matter of development sequence information, the electric pole relocation will be part of phase I as required for service regardless of the phase in which such distribution site is located.
- b. Phase II – shall include
 - i. A second phase of the service-maintenance-parts building
 - ii. A collision repair building – if approved by Specific Use Permit (SUP)
 - iii. Parking required for each of the above facilities for customers, employees, and inventory (vehicles being serviced)
 - iv. An additional ingress-egress location with paved fire lane including a City approved accessible locking device (if gated) to accommodate emergency access. This fire lane may be allowed as part of phase I if required by the Fire Marshall.

SECTION 3: CONDITIONS

- A. Prior to commencement of any land use on Property described in Exhibit “A” to this ordinance, Huffines Automotive Dealerships and/or S. Ray Huffines shall satisfy the following conditions:
 1. Acquire fee ownership of Lots 6-A1, 6-B1 and 6-C1 (being 4.454 acres, 2.00 acres, and 1.449 acres, respectively) in Block 1 of Pecan Creek Subdivision, an addition to the City of Corinth, Denton County, Texas, according to the replat thereof recorded in Cabinet E, Page 196, Plat Records, Denton County, Texas, with an address of 5150 S. I-35, Corinth, Texas (the “Nonconforming Property”); and
 2. After acquiring ownership of the Nonconforming Property, terminate and waive any rights to use the Nonconforming Property for automobile sales and service uses and automobile body shop uses, in a form and manner approved by the City Attorney.

OWNER/DEVELOPER
**HUFFINES CHILDREN'S TRUST /
 HUFFINES AUTOMOTIVE DEALERSHIP**
 400 WEST PLANO PARKWAY
 PLANO, TX 75063
 PH. 972 507-6000
 Contact RAY HUFFINES

LANDSCAPE REGULATIONS
 COUNTY, TX

LANDSCAPE BUFFERS
REQUIRED: (1-35) Landscape buffer with adjacent to arterial street = 20'. Within the landscape buffer (1) shade tree (3' caliper minimum) shall be planted per 30' feet of landscape edge.
PROVIDED: 30' Landscape buffer and 38 trees
REQUIRED: (Tower Ridge Dr.) Landscape buffer with adjacent to collector street = 15'. Within the landscape buffer (1) shade tree (3' caliper minimum) shall be planted per 30' feet of landscape edge.
PROVIDED: Tower Ridge Dr. = 388 L / 30 = 13 trees
REQUIRED: 15' Landscape buffer and 18 new trees + 1 existing tree = 20 trees total.
NOTE: Upon elimination of the residential occupancy, the 20' landscape buffer shall be abraded and replaced with a minimum 5' setback.

INTERIOR PARKING LANDSCAPE

REQUIRED: There shall be ten (10) square feet of interior parking lot landscaping for each required parking space or a fraction thereof.
 711 x 10 = 2,110 s.f. required landscaping.
 There shall be one (1) shade tree (3' caliper minimum) or one ornamental tree for every ten (10) parking spaces or a fraction thereof.
 711 / 10 = 72 required trees.
PROVIDED: 72,633 s.f. of interior landscaping
 82 trees

Ordinance No. 17-12-07-17
 Huffines Amended Master Plan Development
 Landscape Plan L1.0
 Page 19

PLANT LIST
 QUANT. COMMON NAME

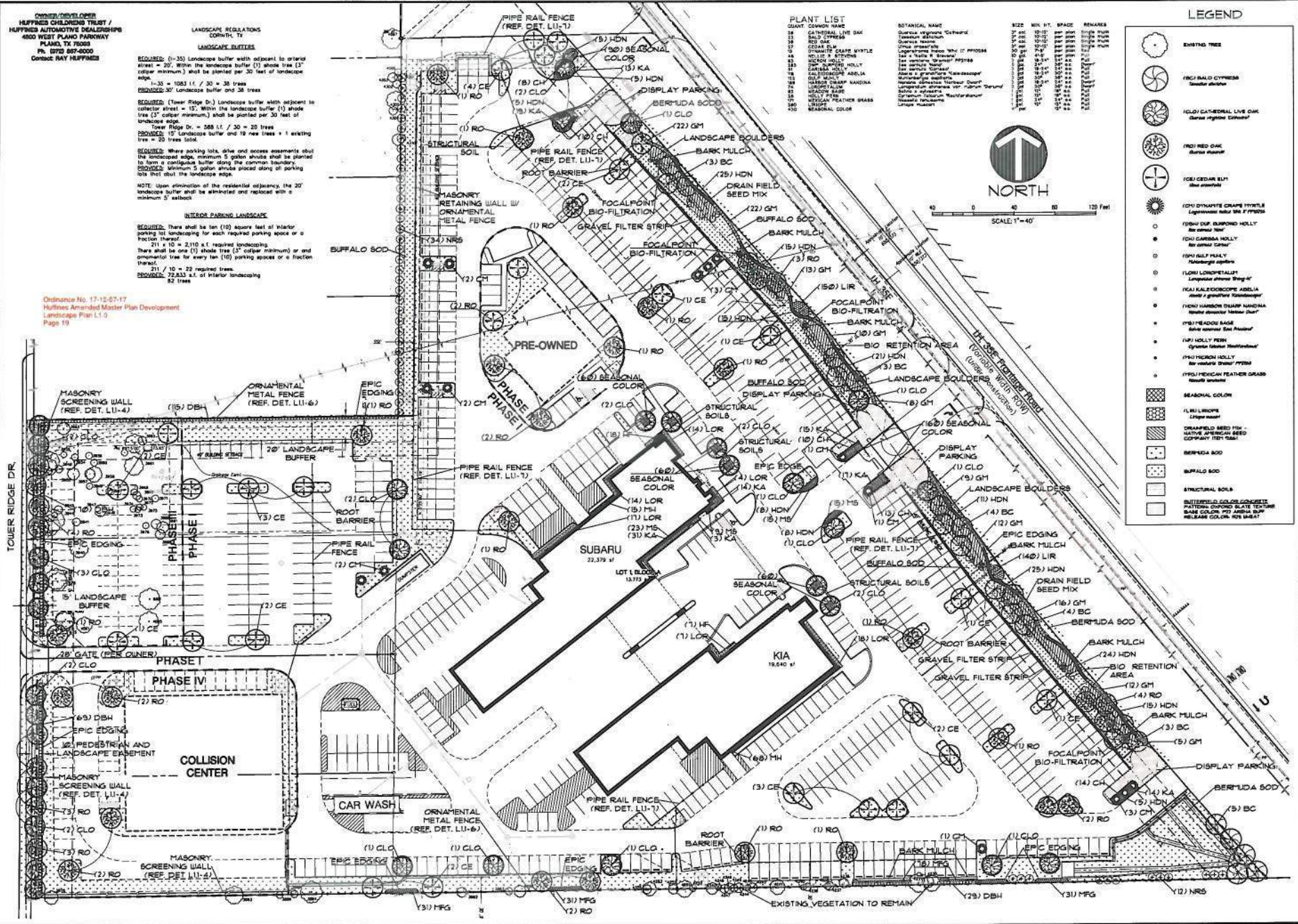
12	CATALPA LIVE OAK
12	RED OAK
12	CELESTIAL
12	DRUMMETT CAJUPUTE
12	HOLLY HEDERA
12	2" QUINCE HOLLY
12	GAUSSIA
12	GAUSSIA ANEMIA
12	GAUSSIA ANEMIA
12	GAUSSIA ANEMIA
12	GAUSSIA ANEMIA
12	HOLLY
12	WITCHAMANTHA
12	SEASONAL COLOR

BOTANICAL NAME

Quercus virginiana	Catalpa
Quercus rubra	Red Oak
Quercus macrocarpa	Celestial
Lagerflora speciosa	Drummett
Ilex aquifolium	Holly
Ilex pedunculata	2" Quince
Abutilon	Gaussia
Abutilon	Gaussia Anemia
Abutilon	Gaussia Anemia
Abutilon	Gaussia Anemia
Abutilon	Gaussia Anemia
Ilex	Holly
Witchamantia	Witchamantia
Abutilon	Seasonal Color

LEGEND

- EXISTING TREE
- (R1) BALD CYPRESS
- (R2) CATALPA LIVE OAK
- (R3) RED OAK
- (R4) CEDAR LIME
- (R5) DYNAMIC CHAMP TREE
- (R6) DOR. BURNING HOLLY
- (R7) GAUSSIA HOLLY
- (R8) GYNERA
- (R9) SALT PEARL
- (R10) LORNDALF
- (R11) KALEIDOSCOPE ANEMIA
- (R12) HAMBURG DAZEL
- (R13) BACOSI BAGE
- (R14) HOLLY PINK
- (R15) HICKORY HOLLY
- (R16) MEXICAN FEATHER GRASS
- SEASONAL COLOR
- EPIC EDGING
- TRAMPLED SEED BED - MATURE, AERATED SEED COMPANY THEY USE
- BERMUDA SOO
- STRUCTURAL SOILS
- BUFFALO SOO
- BUFFALO SOO CONCRETE PATTERNS COLORED SLATE TEXTURE BASE AGG. PPT. ANEMIA SUP. RELEASE COLOR. RYS GRASS



**HUFFINES CHILDREN'S TRUST /
 HUFFINES AUTOMOTIVE DEALERSHIP**
CONSULTANTS, LLC
 11111 WEST PLANO PARKWAY, SUITE 100
 PLANO, TEXAS 75075
 TEL: 972.507.6000 FAX: 972.507.6001
 WWW.HUFFINESCONSULTANTS.COM

HUFFINES KIA/SUBARU
 Lot 1 Block A
 HUFFINES AUTO ADDITION
 13775 ARBOR
 EA GARRISON SURVEY, ABSTRACT NO. 87
 CITY OF COBLENTH, TEXAS

LANDSCAPE PLAN



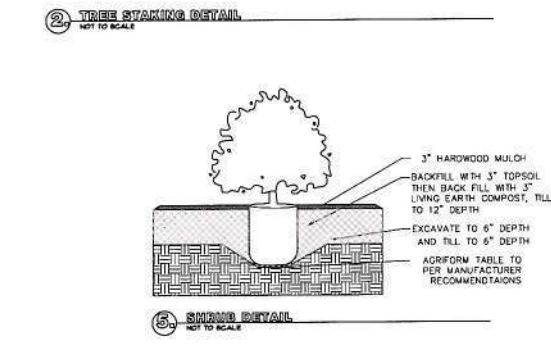
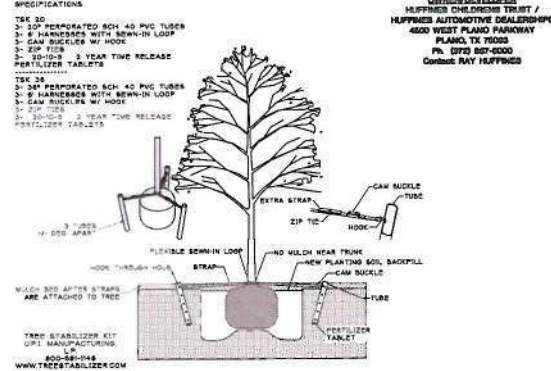
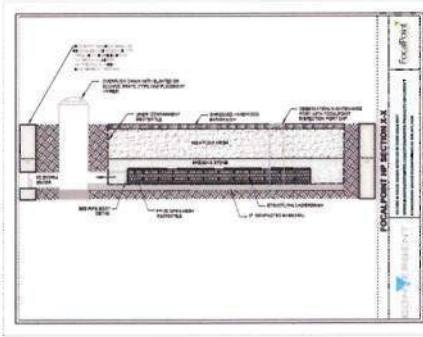
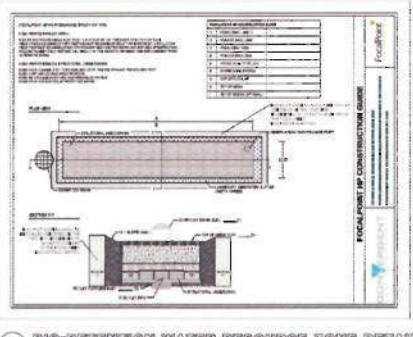
Drawn By: RLS
 Date: 07/07/2017
 Scale: 1"=40'

15044

L1.0

LANDSCAPE NOTES:

- 1) Contractor shall stake out tree locations and bed configuration for approval by owner prior to installation.
- 2) Contractor is responsible for verifying location of all underground utilities prior to construction.
- 3) It is the responsibility of the contractor to advise the owners representative of any condition found on site which prohibits installation as shown on these plans.
- 4) All shrub and groundcover beds shall have a minimum of 3" of hardwood bark mulch.
- 5) Landscape edging shall be located as noted on plan.
- 6) Trees overhanging walks and parking areas shall have a clear trunk height of seven feet.
- 7) Multi trunk and ornamental trees will be allowed in the city's right of way with staff approval only. Must be outside any visibility triangles.
- 8) A visibility triangle must be protected at all intersections as required by the transportation standards code. Trees will have a minimum clear trunk branching height of nine feet.
- 9) All street medians shall be maintained in a healthy and growing condition and must be replaced with plant material of similar variety and size if damaged, destroyed, or removed.
- 10) Landscape areas shall be kept free of trash, litter and weeds.
- 11) An automatic irrigation system shall be provided to maintain all landscape areas. Over watering on streets and walks is prohibited. A permit from the building inspection department is required for each irrigation system. Impact fees must be paid to the development services department for separate irrigation meters prior to any permit release.
- 12) Irrigation Controller to have a Rain and Freeze Stat.
- 13) All landscape to be greater than 8 feet from underground utilities.
- 14) All areas of grading disturbance are to have grass reestablished at 100% coverage prior to letter of acceptance from the city. Means and methods of grass establishment and application of water for grass establishment are at the discretion of the owner and contractor.



OWNER/DEVELOPER
 HUFFINES CHILDREN'S TRUST /
 HUFFINES AUTOMOTIVE DEALERSHIP
 4600 WEST PLANO PARKWAY
 PLANO, TX 75093
 PH. (972) 897-8000
 Contact RAY HUFFINES

CONSULTANTS, LLC
 LANDSCAPE ARCHITECTURE
 11111 W. UNIVERSITY BLVD., SUITE 1000, DENTON, TEXAS 76201
 (817) 382-1111
 WWW.HUFFINESCONSULTANTS.COM

HUFFINES KIM/SUBARU
 Lot 1, Block A
 HUFFINES AUTO ADDITION
 137701
 137701
 EA GARRISON SURVEY, ABSTRACT NO. 81
 CITY OF CORNITH,
 DENTON COUNTY, TEXAS



Drawn By: BLS
 Date: 02/07/2017

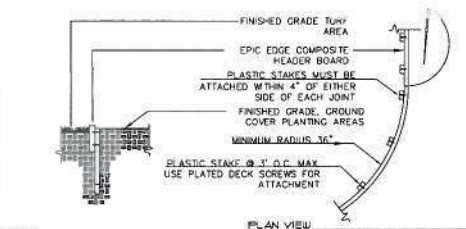
NO.	REVISION
01	02/07/2017
02	02/07/2017
03	02/07/2017
04	02/07/2017
05	02/07/2017
06	02/07/2017

15044

L1.1

LANDSCAPE PLAN

Ordinance No. 17-12-07-17
 Hullines Amended Master Plan Development
 Landscape Plan L1.1
 Page 20



SECTION	ACTUAL DIMENSIONS	MINIMUM RADIUS
13.6	5.7'16" x 9'16" x 20"	36"

NOTE: USE COARSE WOOD WORKING TOOLS FOR CUTTING & DRILLING.

EPIC EDGE CHAIR
 COLOR OPTIONS: HERRINGBONE REDWOOD, PACIFICA GREY, SEDONA SAND, and CAMPBELL BROWN
 MANUFACTURED BY: EPIC PLASTICS, 404 EAST TURNER RD., Lodi, CA 95248
 URL ADDRESS: www.epicplastics.com

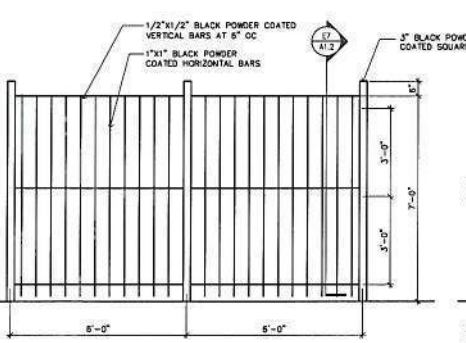


FENCE TYPE #2
 6'-0" HIGH MASONRY FENCE PROPOSED

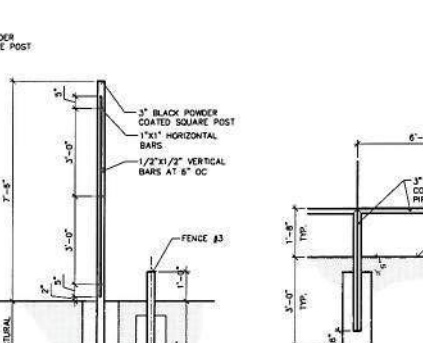
APDG
 A FULL DESIGN GROUP
 ARCHITECTURE INTERIORS
 CONSTRUCTION
 975.750.4400
 WWW.APDG.COM

NOTE: REFER TO ARCHITECT

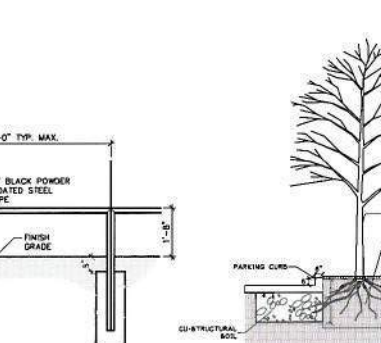
MASONRY SCREENING WALL
 SCALE: 1/2" = 1'-0"



ORNAMENTAL METAL FENCE
 SCALE: 3/4" = 1'-0"

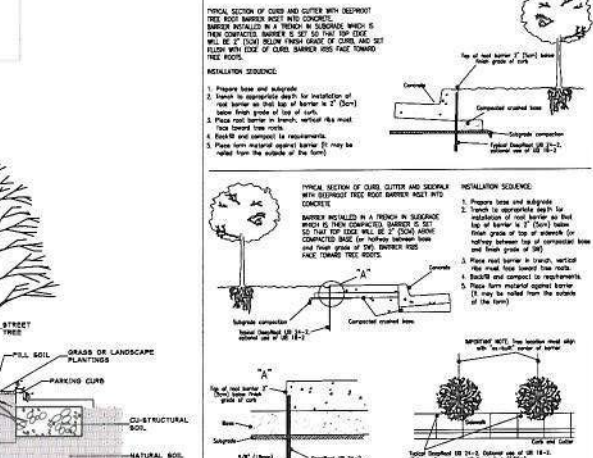


PIPE RAIL FENCE DETAIL
 SCALE: 1/2" = 1'-0"



SUB STRUCTURAL SOIL DETAIL
 NOT TO SCALE

Linear Application of DeepRoot Tree Root Barriers at Time of Installing Concrete Sidewalks and Curb



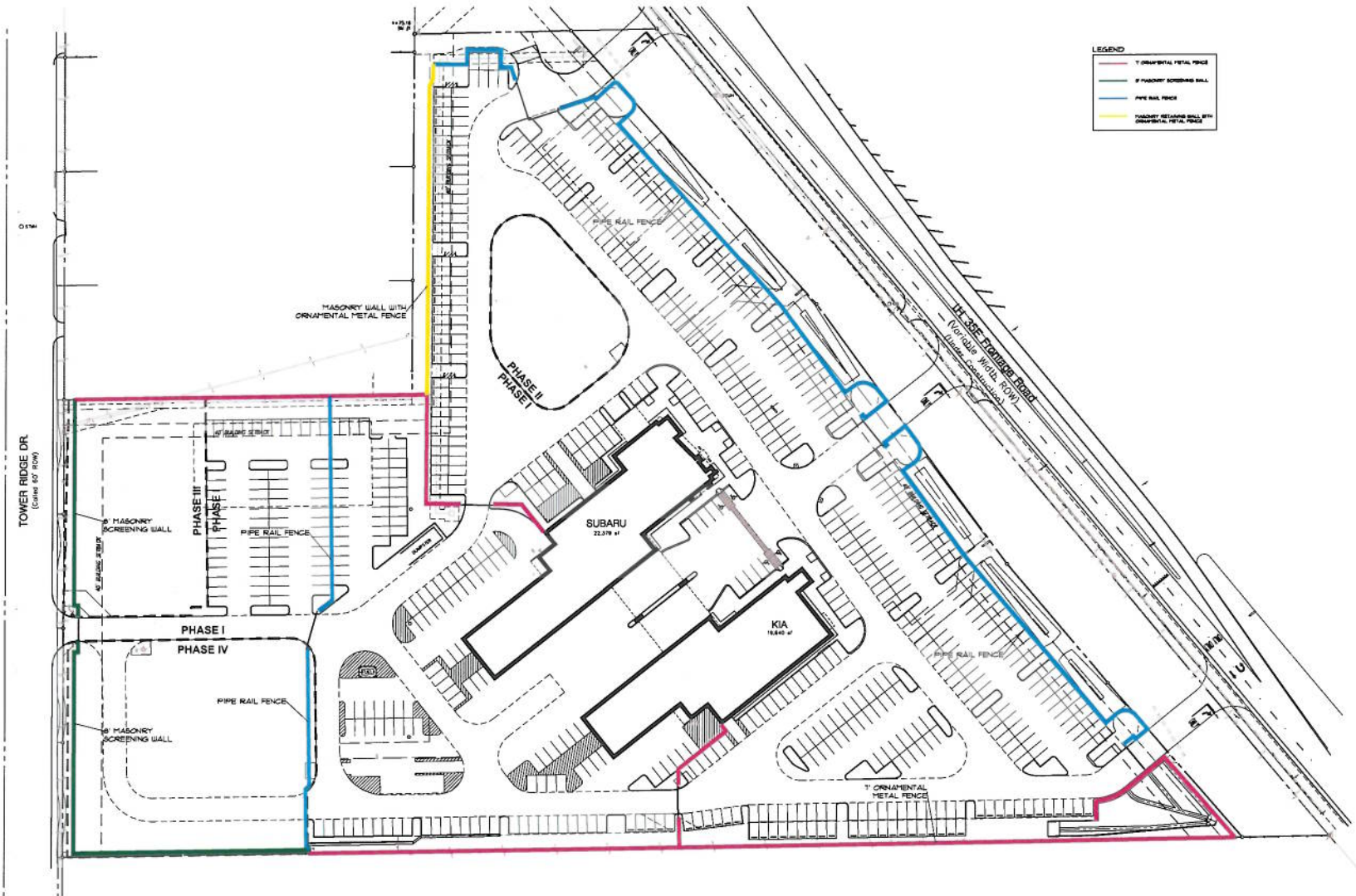
ROOT BARRIER DETAIL
 NOT TO SCALE

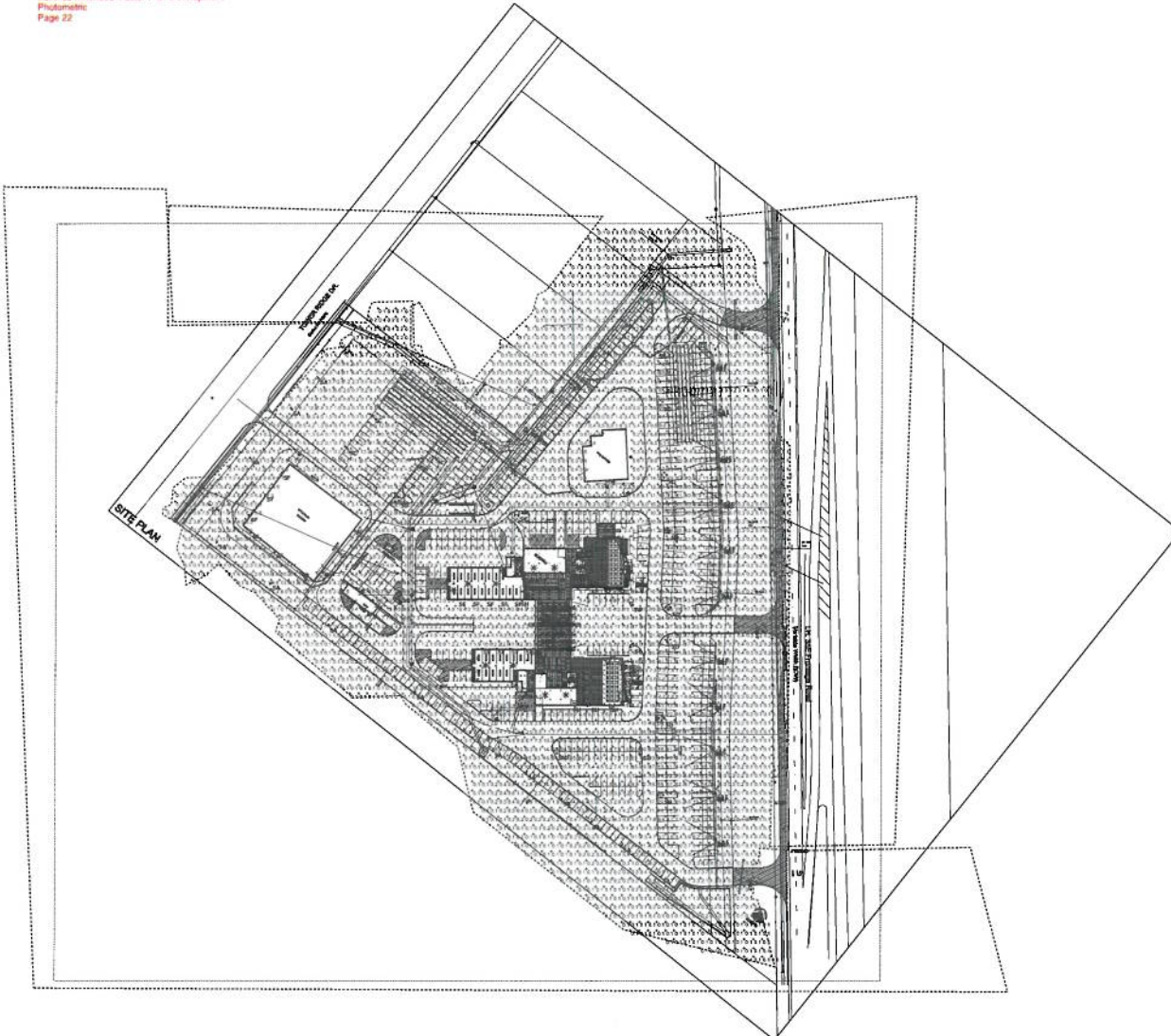
PLS. SEE ALL NOTES ON SHEETS L1.1 THROUGH L1.10 FOR ALL NOTES AND SPECIFICATIONS.



LEGEND

	T ORNAMENTAL METAL FENCE
	M MASONRY SCREENING WALL
	P PIPE RAIL FENCE
	M MASONRY RETAINING WALL WITH ORNAMENTAL METAL FENCE





Plan View
 Scale = 1" = 100'

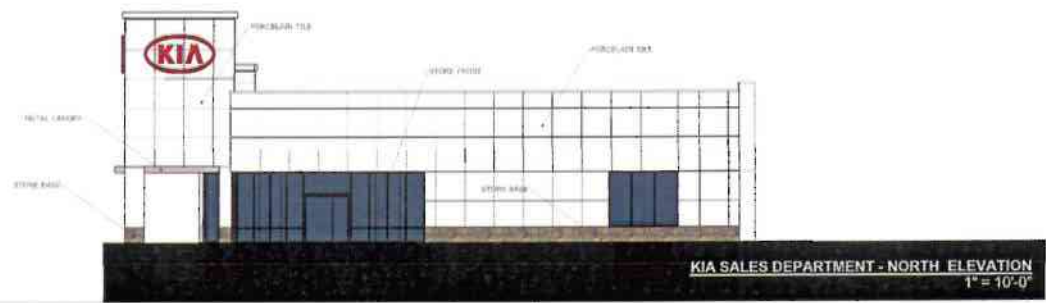
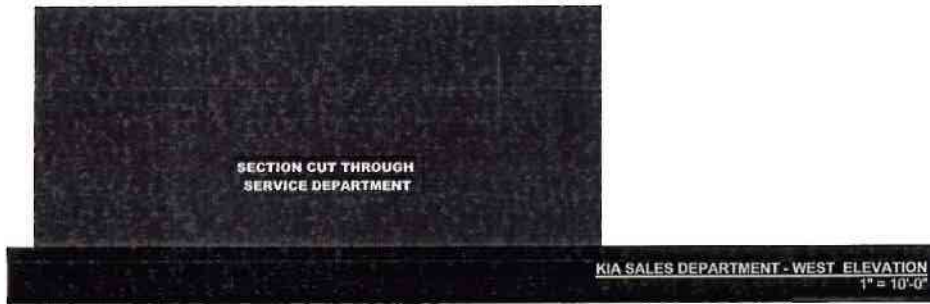
Symbol	Label	Quantity	Manufacturer	Containing	Description	Lamp	Wattage
SA		32	Lithonia	DSX2 LED 1500 1000 30K M.C. MOUNT STA 20 SG DMZ8AS	SIGNAL LIGHT W/ 1500 LUMEN CONTROL OPTIC ON 20 ROUND TAPERED ALUMINUM POLE	15000K LED	360
SAF		32	Lithonia	DSX2 LED 72 30K M.C. MOUNT STA 20 SG DMZ8AS	FLOODLIGHT W/ CLAMP GUARD MOUNTED ON ARM AT 18 INCHES ON POLE	15000K LED	78
SB		3	Lithonia	DSX2 LED 1500 1000 30K TMR MOUNT STA 20 SG DMZ8AS	EXHIBIT AT 180 INCHES AREA LIGHT W/ 150 LUMEN TYPE 4 MEDIUM OPTICS, ON 20 ROUND TAPERED ALUMINUM POLE	15000K LED	220
SC		4	Lithonia	DSX2 LED 1500 1000 30K TMR MOUNT STA 20 SG DMZ8AS	EXHIBIT AT 180 INCHES AREA LIGHT W/ 150 LUMEN TYPE 4 MEDIUM OPTICS, ON 20 ROUND TAPERED ALUMINUM POLE	15000K LED	220
SD		11	Lithonia	DSX2 LED 1500 1000 30K TMR MOUNT STA 20 SG DMZ8AS	QUAD AREA LIGHT W/ 150 LUMEN TYPE 4 MEDIUM OPTICS, ON 20 ROUND TAPERED ALUMINUM POLE	15000K LED	1440
SF		29	Lithonia	DSXW3 LED 300 300 30K TMR MOUNT	WALL MOUNTED EXHIBIT AREA LIGHT W/ TYPE 4 MEDIUM OPTIC	15000K LED	199
SG		32	Lithonia	HTF30C 15W30S GAT 5S	DIFFUSE MOUNT SQUARE MOUNT WITH OPS WHITE GLASS DIFFUSER	15000K LED	39 84
SH		13	Lithonia	WET LED FS 30K UP MOUNT EXHIBIT SCORBY	WALL MOUNT UNIT W/ ROUND COMPACT FORWARD THROW OPTICS AND INTERNAL EMERGENCY BATTERY	15000K LED	35
SJ		11	USA Illumination	3021 W 8U S 18 LUMEN 8014-1 4800 90 FT 120V DIML	WET BATED RECESSED DOWNLIGHT W/ 11 RECESS AND IS DES. REAC. WHITE TRIM	4800K LED, 9-10V DIM	39 88
SK		4	USA Illumination	3021 W 8U S 18 LUMEN 8014-1 4800 90 FT 120V DIML	WET BATED RECESSED DOWNLIGHT W/ 11 RECESS AND IS DES. REAC. WHITE TRIM	4800K LED, 9-10V DIM	16

Discussion	Symbol	Aug	Min	Max/Min	Avg/Min
Calc Zone #2	+	4.8 ft	75.9 ft	0.8 ft	N/A
Crack Thr. Crisp	+	12.7 ft	14.4 ft	9.5 ft	1.5 ft



Huffines Kia Subaru
 Corinth, TX
 Site Lighting &g

Designer
 Tom Tabor, LC
 Date
 9/15/2017
 Scale
 Not to Scale
 Drawing No.
 Summary



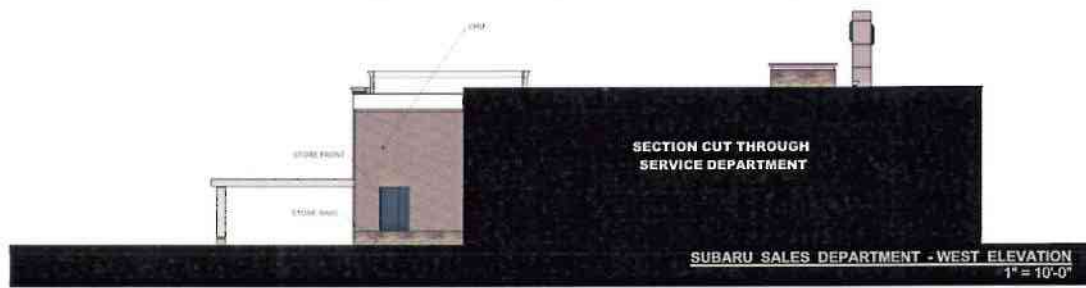
Area - Masonry Construction

Material	Total Sq Ft	Sum	East	South	West	Total
Masonry	13,212	13,212	3,872	4,816	4,524	13,212
Stucco	2,274	2,274	0	0	0	2,274
Block	0	0	0	0	0	0
Brick	0	0	0	0	0	0
Stone	0	0	0	0	0	0
Other	0	0	0	0	0	0
Total	15,486	15,486	3,872	4,816	4,524	15,486
Total Square Footage of Exterior Wall Area*		5,517	*Excludes Intersections and Doors			
Total Square Footage of Masonry Wall Area		5,282	**Excludes masonry base exterior parking			
Total Percentage of Class I & II Masonry		95.8%				





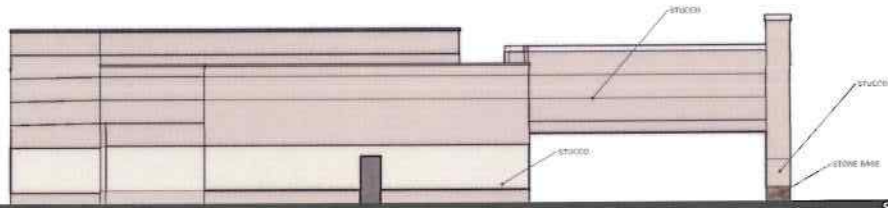
SUBARU SALES DEPARTMENT										
Category	Total Sq. Ft.	Area	Cost	Units	Cost	Units	Total	Total	Total	Total
Aluminum	48,000	14.0%	11,000,000	1,000	11,000,000	1,000	11,000,000	11,000,000	1,000	11,000,000
Brick	25,000	7.0%	5,000,000	500	5,000,000	500	5,000,000	5,000,000	500	5,000,000
Concrete	10,000	2.8%	2,000,000	200	2,000,000	200	2,000,000	2,000,000	200	2,000,000
Steel	5,000	1.4%	1,000,000	50	1,000,000	50	1,000,000	1,000,000	50	1,000,000
Stone	12,000	3.4%	2,400,000	120	2,400,000	120	2,400,000	2,400,000	120	2,400,000
Wood	18,000	5.1%	3,600,000	180	3,600,000	180	3,600,000	3,600,000	180	3,600,000
Other	10,000	2.8%	2,000,000	100	2,000,000	100	2,000,000	2,000,000	100	2,000,000
Total	188,000	5.3%	37,600,000	1,880	37,600,000	1,880	37,600,000	37,600,000	1,880	37,600,000
Total Square Footage of Exterior Wall Area*								4,000	Total Square Footage of Exterior Wall Area*	
Total Square Footage of Masonry Wall Area								1,500	Total Square Footage of Masonry Wall Area	
Total Percentage of Over 1 & 2 Masonry								36.0%	Total Percentage of Over 1 & 2 Masonry	



Family	Total %	South	East	West	North
Masonry	41.4%	31.7%	31.7%	31.7%	31.7%
Stucco	32.0%	32.0%	32.0%	32.0%	32.0%
Stone	86.8%	86.8%	86.8%	86.8%	86.8%
Other	0.0%	0.0%	0.0%	0.0%	0.0%
Total	600.0%	600.0%	600.0%	600.0%	600.0%



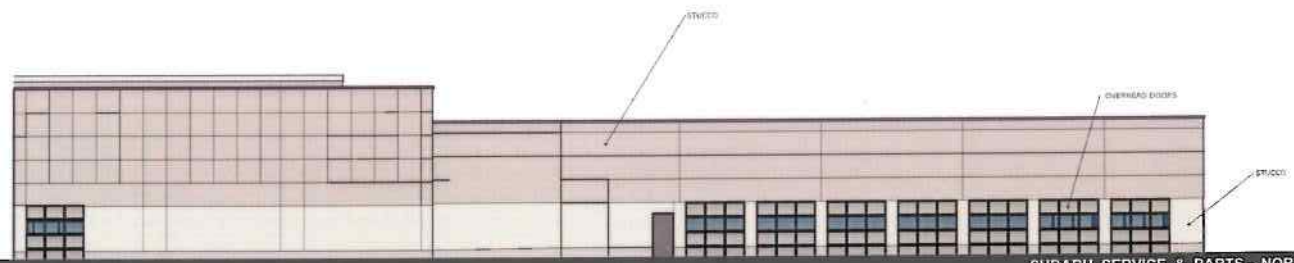
SUBARU SERVICE & PARTS - EAST ELEVATION
 1" = 10'-0"



SUBARU SERVICE & PARTS - WEST ELEVATION
 1" = 10'-0"



SUBARU SERVICE & PARTS - SOUTH ELEVATION
 1" = 10'-0"



SUBARU SERVICE & PARTS - NORTH ELEVATION
 1" = 10'-0"

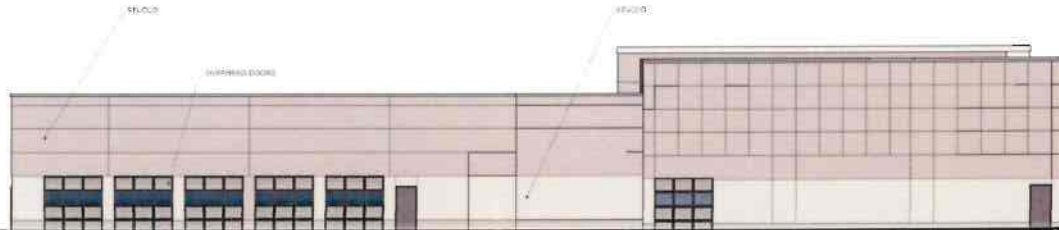
Material	Volume	Weight	Volume	Weight	Volume	Weight	Total
Concrete	10,000	150,000	10,000	150,000	10,000	150,000	30,000 / 450,000
Steel	1,000	30,000	1,000	30,000	1,000	30,000	3,000 / 90,000
Brick	100,000	1,500,000	100,000	1,500,000	100,000	1,500,000	300,000 / 4,500,000
Stone	100,000	1,500,000	100,000	1,500,000	100,000	1,500,000	300,000 / 4,500,000
Block	100,000	1,500,000	100,000	1,500,000	100,000	1,500,000	300,000 / 4,500,000
Other	100,000	1,500,000	100,000	1,500,000	100,000	1,500,000	300,000 / 4,500,000
Total	300,000	4,500,000	300,000	4,500,000	300,000	4,500,000	900,000 / 13,500,000



KIA SERVICE & PARTS - EAST ELEVATION
 1" = 10'-0"



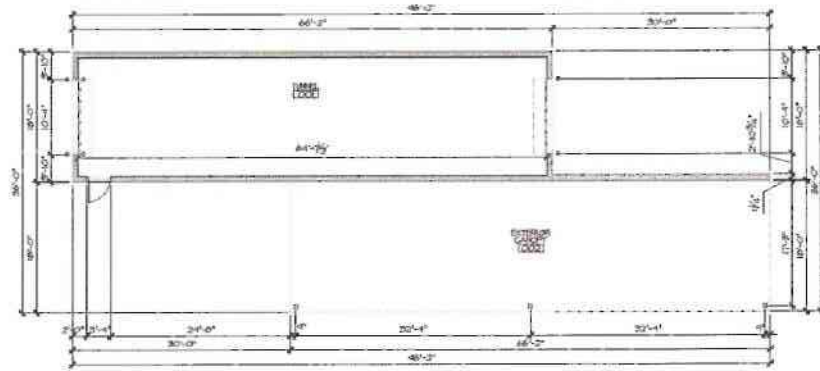
KIA SERVICE & PARTS - WEST ELEVATION
 1" = 10'-0"



KIA SERVICE & PARTS - SOUTH ELEVATION
 1" = 10'-0"



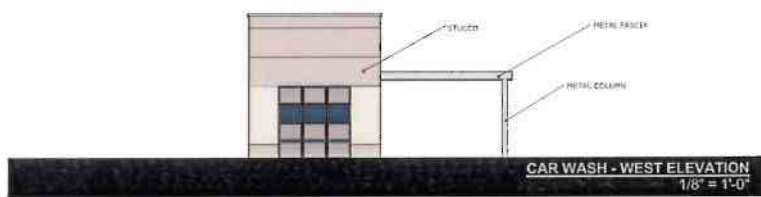
KIA SERVICE & PARTS - NORTH ELEVATION
 1" = 10'-0"



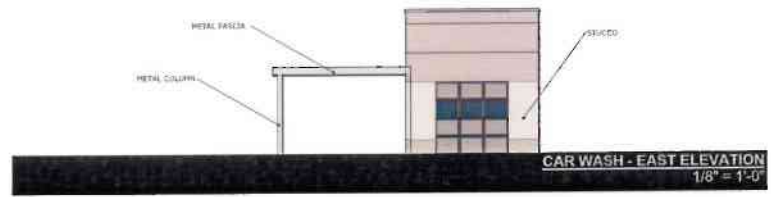
CAR WASH FLOOR PLAN

Category	North		East		South		West		Total
	Sq Ft	%	Sq Ft	%	Sq Ft	%	Sq Ft	%	
Aluminum	0	0.0%	271	8.8%	300	9.3%	281	8.8%	852
Glazing	1,870	57.0%	247	7.5%	1,580	48.1%	1,940	59.1%	5,637
Steel	1,652	50.0%	283	8.8%	1,670	50.0%	283	8.8%	5,908
Total Square Footage of Exterior Wall Area*			3,194		3,550		3,501		13,345
Total Square Footage of Masonry Wall Area			0		0		0		0
Total Percentage of Class 2 & 3 Masonry			0%		0%		0%		0%

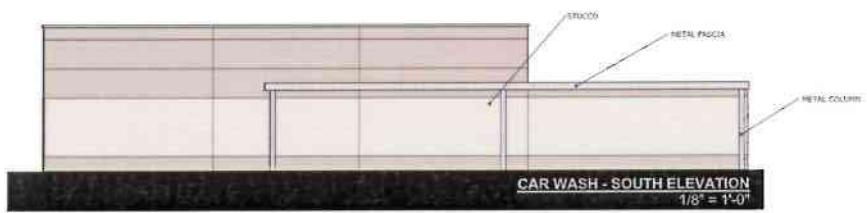
*excludes Penetration and doors
 **most materials have capacity factored



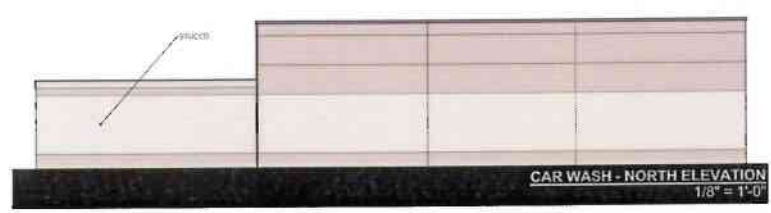
CAR WASH - WEST ELEVATION
 1/8" = 1'-0"



CAR WASH - EAST ELEVATION
 1/8" = 1'-0"



CAR WASH - SOUTH ELEVATION
 1/8" = 1'-0"



CAR WASH - NORTH ELEVATION
 1/8" = 1'-0"



A PLUS DESIGN GROUP
 ARCHITECTURE
 INTERIORS
 CONSTRUCTION

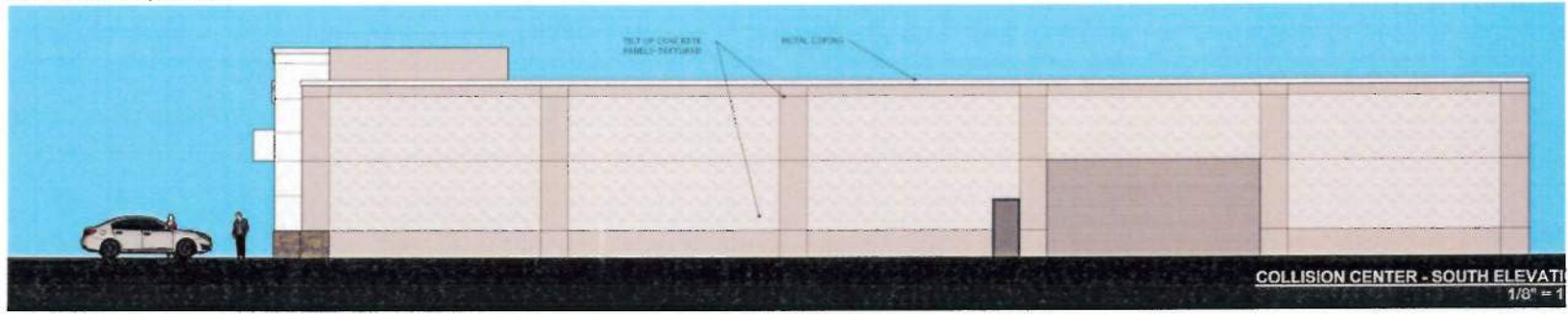
932-124-4444
 AFDG@TX.AE
 1400 W. UNIVERSITY BLVD.
 SUITE 1000
 CORINTH, TX 75041

A NEW DEALERSHIP FACILITY FOR:
HUFFINES KIA / SUBARU
 CORINTH, TEXAS

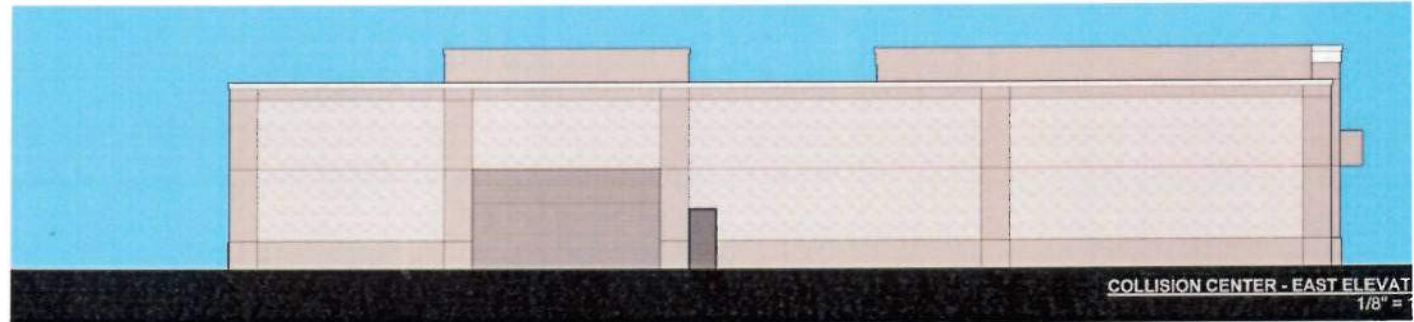
OCTOBER 25, 2017

CAR WASH

Ordinance No. 17-12-07-17
 Huffines Amended Master Plan Development
 Elevations Collision Center
 Page 28



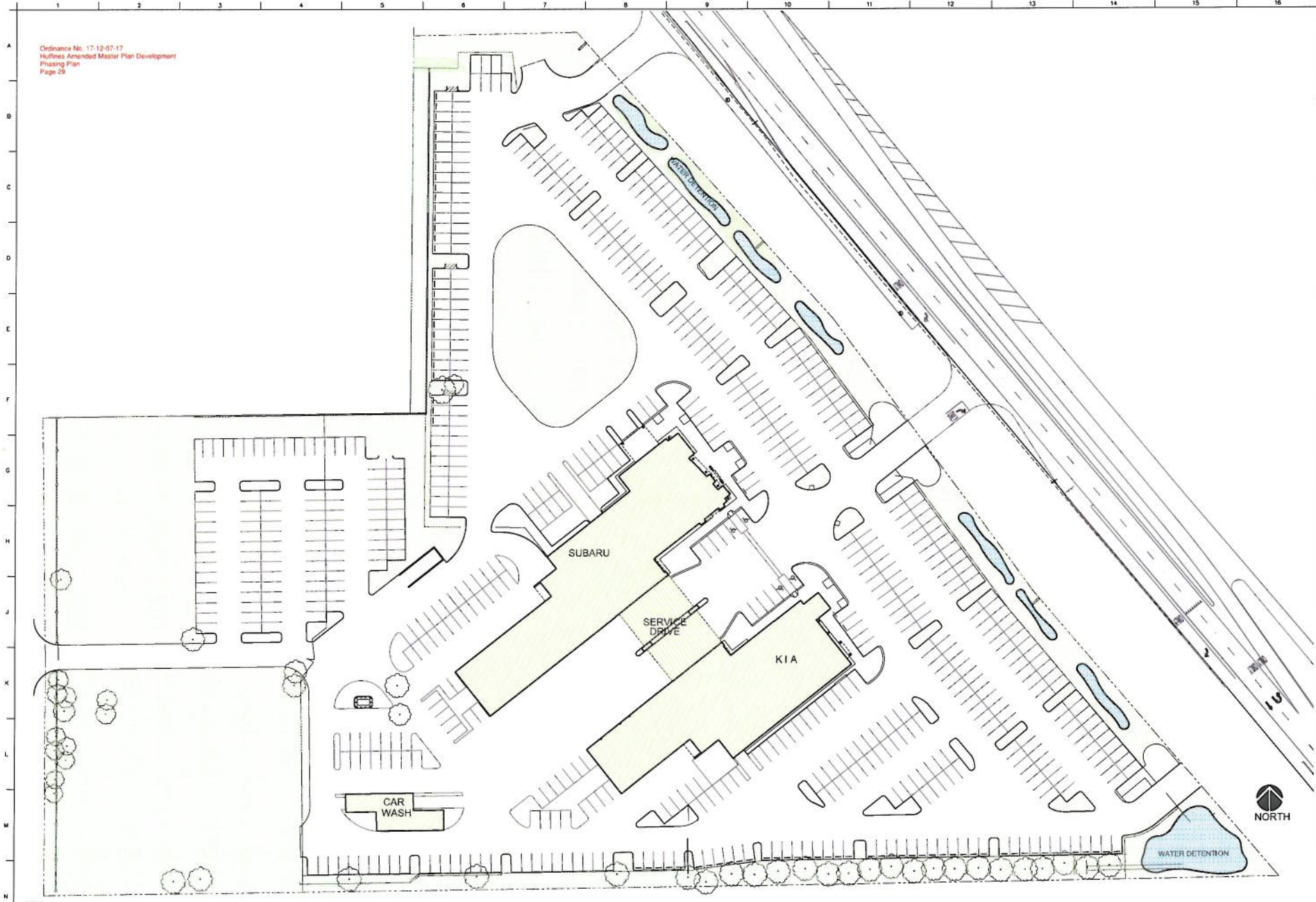
COLLISION CENTER											
Exterior Materials	Total %	North		East		South		West		Total	
all sides	Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	Sq.Ft. all	
Glazing	50.7%	220	53.5%		86	10.9%	140	17.7%	440	66.7%	667
Metal**	60.7%	229	29.0%		86	10.9%	140	17.7%	335	42.3%	790
Stone	74.3%	445	46.0%		180	18.6%	120	12.4%	222	25.0%	967
Concrete	839.7%	1,849	22.2%		2,467	29.6%	2,854	34.3%	1,158	13.9%	8,323
Tile	10.8%	347	26.7%						954	73.3%	1,301
Total	836.3%	3,090		2,728		3,114		3,109		12,041	
Total Square Footage of Exterior Wall Area*				13,381 *includes fenestration and doors							
Total Square Footage of Class 1 Masonry Wall Area				2,268							
Total Square Footage of Class 2 Masonry Wall Area				6,323							
Total Percentage of Class 1 Masonry				19.99%							
Total Percentage of Class 2 Masonry				79.1%							
Total Percentage of Class 1 & 2 Masonry				99.1% ** most metals have masonry backing							



Ordinance No. 17-12-07-17
 Huffines Amended Master Plan Development
 Phasing Plan
 Page 29



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 CONSTRUCTION
 972-724-4440
 972-691-7731 FAX
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N1 SITE PLAN - PHASE I
 SCALE: 1"=40'

CORINTH, TEXAS
KIA HUFFINES KIA / SUBARU
 KIA DENTON SUBARU
 A NEW DEALERSHIP FACILITY FOR:

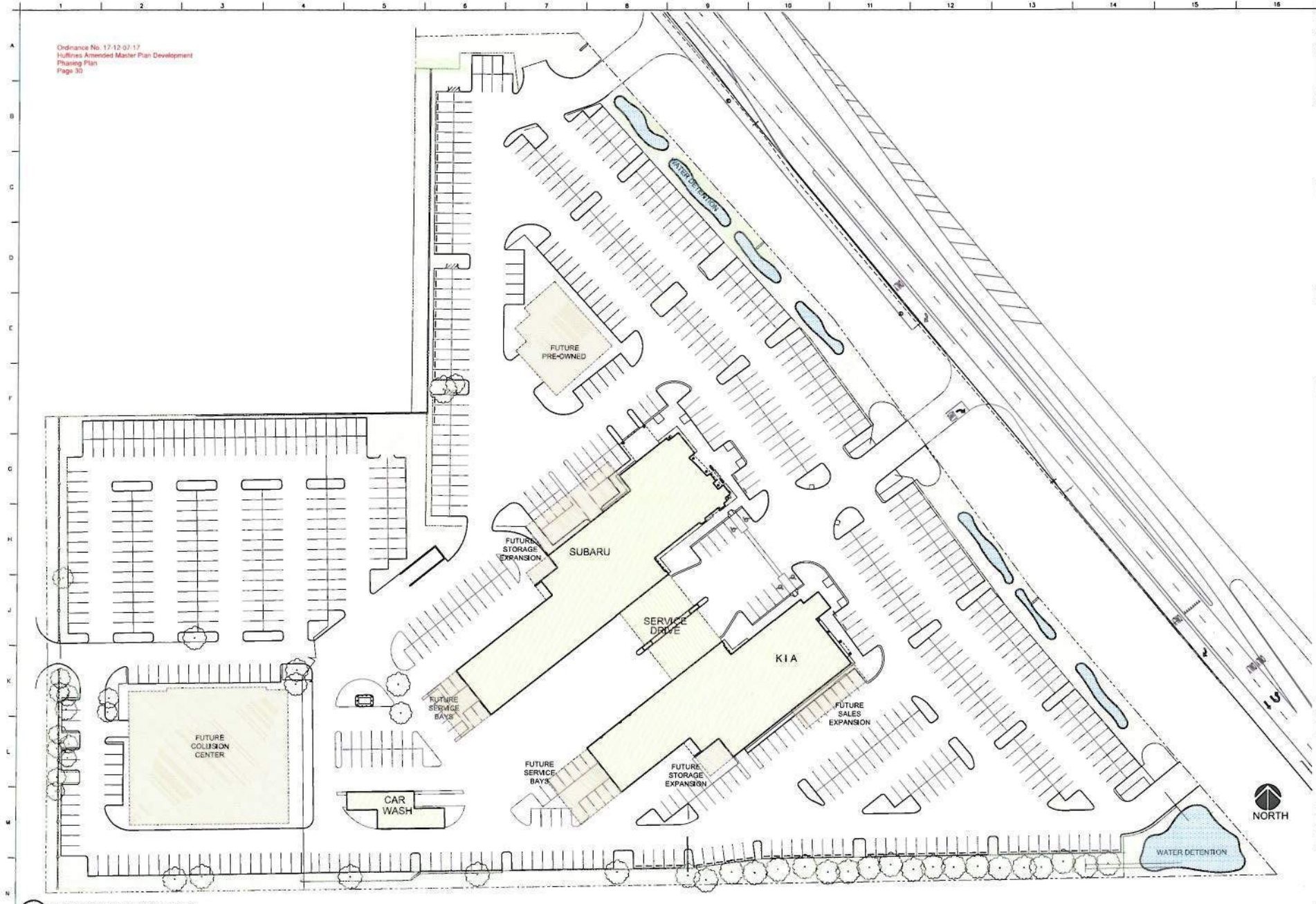
REVISIONS		
No.	DATE	NOTE

Drawn by: A.M.
 Checked by: T.C.
 Project No: 13-CB26
 Date: 04-24-2017



Ordinance No. 17-12-07-17
 Huffines Amended Master Plan Development
 Phasing Plan
 Page 30

**AP
DG**
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 CONSTRUCTION
 972-724-4440
 972-691-7331 FAX
 APD.G.U.S.
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CORINTH, TEXAS
KIA HUFFINES KIA / SUBARU
 KIA DENTON SUBARU
 A NEW DEALERSHIP
 FACILITY FOR:

REVISIONS		
NO.	DATE	NOTE

Drawn by: A.P.
 Checked by: T.C.
 Project No: 13-0820
 Date: 04-24-2017

N1 SITE PLAN - FULL BUILD OUT
 SCALE: 1"=40'



OFFICIAL USE:
Case Number: PDA23-0005 Huffines Kia Facade
Fees Paid: n/a

Site Address (Attach Location Map): 6940 S I-35E, Corinth TX 76210

Approved PD: 42

Name (Applicant/Authorized Agent): Don Paschal

Applicant Signature:

Minor PD, Planned Development Amendment Application*

In accordance with UDC Section 2.10.09.D.1., the Director of Development Services may administratively approve or defer to City Council a Minor PD Amendment and Adjustment to the Planned Development Ordinance.

* Please also complete and attach a [Universal Planning Application](#).

APPLICANT MODIFICATION/AMENDMENT REQUEST:

PD to be Amended: PD-42 (Huffines Automotive)

DIRECTIONS:

Describe the requested modification(s)/amendment to the requirements of the "Approved" PD Ordinance in the space provided below. Be specific. Provide accompanying exhibits when applicable.

Request:

Kia is re-branding the exterior appearance and logo of its dealerships. The owner of the Corinth facility desires to modify the façade by re-facing the North, East, and South towers extending out from and above the balance of the building façade with a new material identified as "Steni" which will have the appearance of high gloss and medium gloss black tiles. Because the PD ordinance specifically identifies certain percentages of "porcelain" tile, the applicant is requesting this minor amendment to PD-41 to permit the use of the "Steni" product per the attached East elevation plan. Black "Steni" material shall wrap around a portion of the N, E, & S towers extending from the main structure toward the East at 90-degree angles and then around the east tower façade and extending above the main structure to the top of each tower. The "Steni" material shall wrap N, E, & S facades of the full tower integrated into the East elevation on which the KIA logos are depicted.

In addition, there are inconsistencies in the two (2) "façade tables" within the adopted PD ordinance for the N, E, & S facing tower elevations in that the SF and percentages of tile do not match due to the original tile being replaced by the Steni as a national branding program with white KIA logos being applied to the proposed new "Steni" black stone-based material as illustrated. Both SF and percentages of tile and "Steni" have been incorporated into the table to accurately reference the quantities of existing tile, new "Steni" and other existing materials. The corrected data on the attached new N, S, & E elevations corrects the square footage and % to reflect the proposed modifications. This will clarify and memorialize the acceptance of the more durable Steni material which will match and blend with the remaining original porcelain tiles.

Staff Comments/Conditions:

Approved: _____

Denied: _____

J. S. Webb

**John Webb, AICP,
Director of Development Services**

Date: 09-12-2023



CITY OF CORINTH

Universal Application Form

All applications must be submitted with (1) a complete Universal Application Form, (2) a completed application checklist, and (3) all materials listed in the appropriate checklist. The Planning and Development Department staff is available to assist you in person at City Hall or by phone, please call 940-498-3262 for an appointment. Applications shall be processed based on the City's official submission dates.

Date: August 1, 2023

APPLICATION TYPE (Click or tap each box that applies)						(Box 1 of 8)
Zoning Related Applications		Subdivision Related Applications		Miscellaneous Applications		
<input type="checkbox"/>	Reinstate Nonconforming Rights	<input type="checkbox"/>	Preliminary Plat	<input type="checkbox"/>	Comprehensive Plan Amendment	
<input type="checkbox"/>	Zoning Map Amendment (Rezoning)	<input type="checkbox"/>	Final Plat	<input type="checkbox"/>	Fence Variance	
<input type="checkbox"/>	PD, Planned Development Zoning Map Amendment (Rezoning)	<input type="checkbox"/>	Minor Plat	<input type="checkbox"/>	Sign Building Permit	
<input checked="" type="checkbox"/>	Minor PD Amendment	<input type="checkbox"/>	Replat	<input type="checkbox"/>	Sign Building Permit (Conditional)	
<input type="checkbox"/>	Specific Use Permit	<input type="checkbox"/>	Amending Plat	<input type="checkbox"/>	Sign Variance	
<input type="checkbox"/>	Administrative Decision Appeal	<input type="checkbox"/>	Conveyance Plat	<input type="checkbox"/>	Unified Sign Plan	
<input type="checkbox"/>	Zoning Variance	<input type="checkbox"/>	Plat Vacation			
<input type="checkbox"/>	Zoning Special Exception	<input type="checkbox"/>	Engineering Construction Plan			
<input type="checkbox"/>	Zoning Vested Rights	<input type="checkbox"/>	Park/Trail Dedication			
<input type="checkbox"/>	Site Plan	<input type="checkbox"/>	Subdivision Waiver			
<input type="checkbox"/>	Alternative Compliance	<input type="checkbox"/>	Proportionality Appeal			
		<input type="checkbox"/>	Subdivision Vested Rights			


APPLICANT INFORMATION		(Box 2 of 8)
Applicant Name: Don Paschal	Company: Don Pascal Consulting	
Address: 904 Parkwood Court		
City/State/Zip: McKinney, TX 75072		
Contact Number: 214-726-6559	Secondary Number: 972-529-1325	
Email: don@paschalconsulting.com		
Project Name: Huffines Kia Façade Minor PD Amendment		

POINT-OF-CONTACT INFORMATION		(Box 3 of 8)
Name: same as above	Company: same as above	
Contact Number: same as above		
Email: same as above		

PROPERTY OWNER INFORMATION		(Box 4 of 8)
Owner's Name: Huffines Childrens Trust II	Company: Huffines KIA Corinth	
Address: 4500 W Plano Pkwy		
City/State/Zip: Plano TX 75093		
Contact Number: 972-867-6000	Secondary Number: 972-529-1325	
Email: eric.hartter@huffines.net		



CITY OF CORINTH

SUBJECT PROPERTY INFORMATION			(Box 5 of 8)
Address: 6940 S I-35E, Corinth TX 76210			
Parcel Tax ID#: 747955			
Legal Description:	Block: A	Lot: 1	
Subdivision Name: Huffines Auto Addition			
BILL FEES TO			(Box 6 of 8)
Choose an item. N/A			
Name: Click or tap here to enter text.		Company: Click or tap here to enter text.	
Address: Click or tap here to enter text.			
City/State/Zip: Click or tap here to enter text.			
Contact Number: Click or tap here to enter text.			
Contact Email: Click or tap here to enter text.			
PROPERTY OWNER CONSENT/ AGENT AUTHORIZATION			(Box 7 of 8)
<p>By my signature, I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the application being requested for this property. Additionally, my signature below indicates my awareness of the fee required at the time of the application submittal and any additional fees as noted in the City's fee schedule. This fee is non-refundable even in the event of application withdrawal. I have the power to authorize and hereby grant permission for City of Corinth officials to enter the property on official business as part of the application process.</p> <p>By signing this form, the owner of the property authorizes the City of Corinth to begin proceeding in accordance with the process for the type of application indicated on this application. The owner/applicant further requests a Waiver of Right to 30-Day Action. The owner acknowledges that submission of an application does not in any way obligate the City to approve the application, and, that although City staff may make certain recommendations regarding this application, the decision-making authority may not follow that recommendation and may make a final decision that does not conform to the staff's recommendation.</p>			
We, the undersigned, being owners of subject real property, do hereby authorize:			
Printed Name: Donald E Paschal, Jr.			
Address: 904 Parkwood Ct, McKinney, TX 75072			
...to act as our Agent in the matter of this request. The term agent shall be construed to mean any lessee, developer, option holder, or authorized individual who is authorized to act in behalf of the owner(s) of said property.			
<u>SIGNATURES OF ALL PROPERTY OWNERS</u>			
Printed Name: Eric Hartter, Co-Trustee			
Signature: 			

CITY OF CORINTH

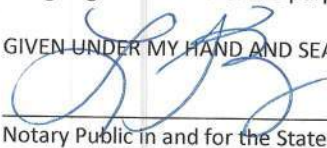
Address: 4500 Plano Parkway, Plano, TX
Printed Name: Samuel Ray Huffines, Jr, Co-Trustee
Signature:
Address: Click or tap here to enter text.
Printed Name: Click or tap here to enter text.
Signature:
Address: Click or tap here to enter text.

NOTARY (Box 8 of 8)

STATE OF TEXAS §
 COUNTY OF COLLIN §

BEFORE ME, the undersigned authority in and for COLLIN County, Texas, on this day personally appeared Eric Hartter, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is CO-TRUSTEE, and that he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 7 day of AUGUST, 2023.

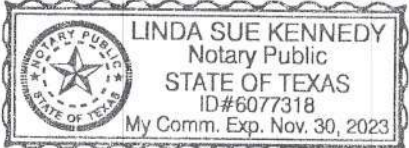


 Notary Public in and for the State of Texas

Linda Kennedy

 Type or Print Notary's Name

My Commission Expires: 11/30/2023



STAFF USE ONLY BELOW

\$ n/a

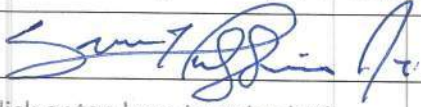
n/a

FEES PAID

DATE FEES PAID

**DATE APPLICATION
 RECEIVED BY CITY:**

CITY OF CORINTH

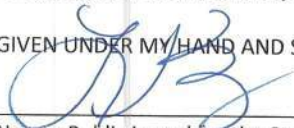
Address: 4500 Plano Parkway, Plano, TX
Printed Name: Samuel Ray Huffines, Jr, Co-Trustee
Signature: 
Address: Click or tap here to enter text.
Printed Name: Click or tap here to enter text.
Signature:
Address: Click or tap here to enter text.

NOTARY (Box 8 of 8)

STATE OF TEXAS §
 COUNTY OF COLLEN §

BEFORE ME, the undersigned authority in and for COLLEN County, Texas, on this day personally appeared SAMUEL RAY HUFFINES, JR., known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he/she is CO-TRUSTEE, and that he/she is authorized to execute the foregoing instrument for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 7 day of AUGUST, 2023




 Notary Public in and for the State of Texas

Linda Kennedy

 Type or Print Notary's Name

My Commission Expires: 11/30/2023



STAFF USE ONLY BELOW

\$ n/a

n/a

FEES PAID

DATE FEES PAID

DATE APPLICATION
RECEIVED BY CITY:

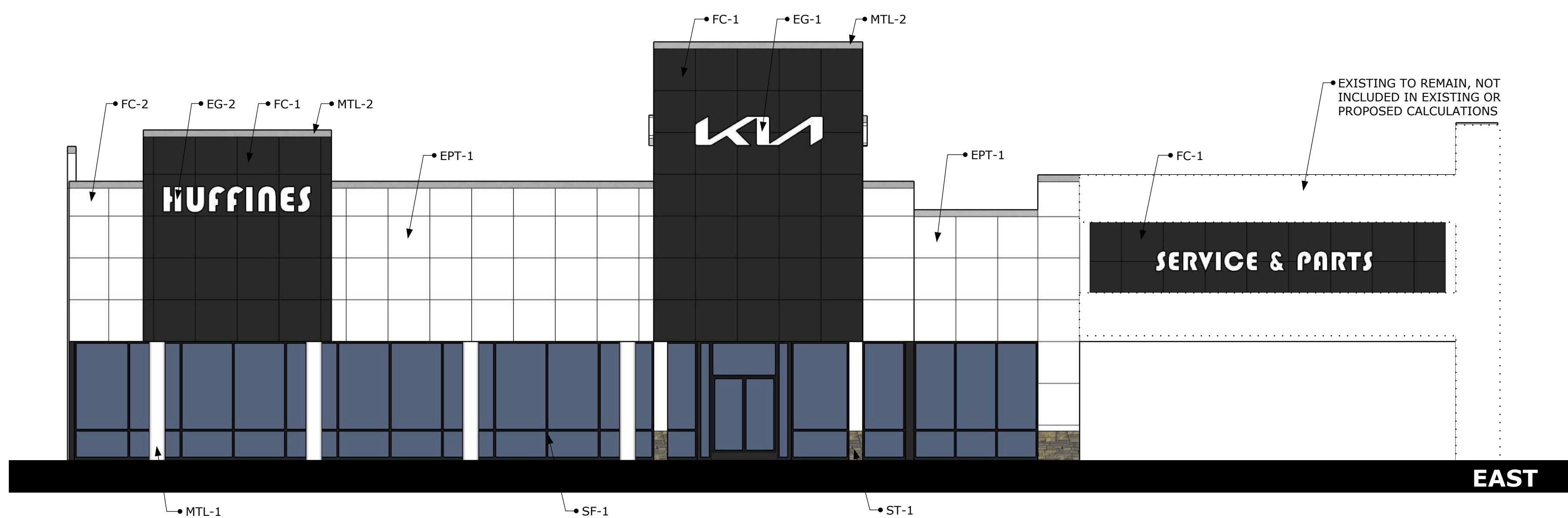
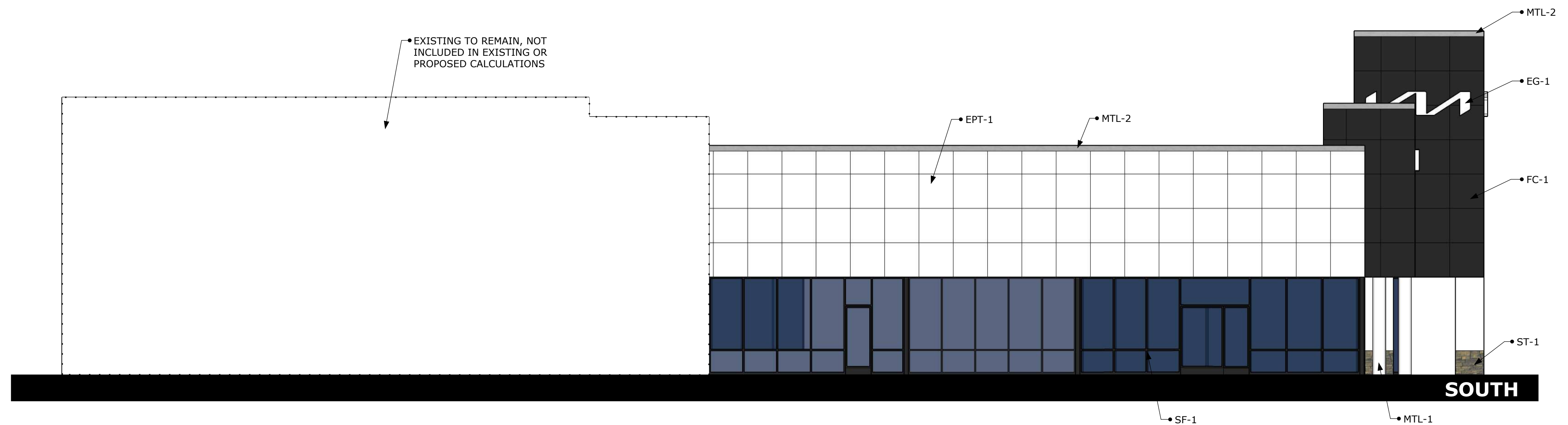
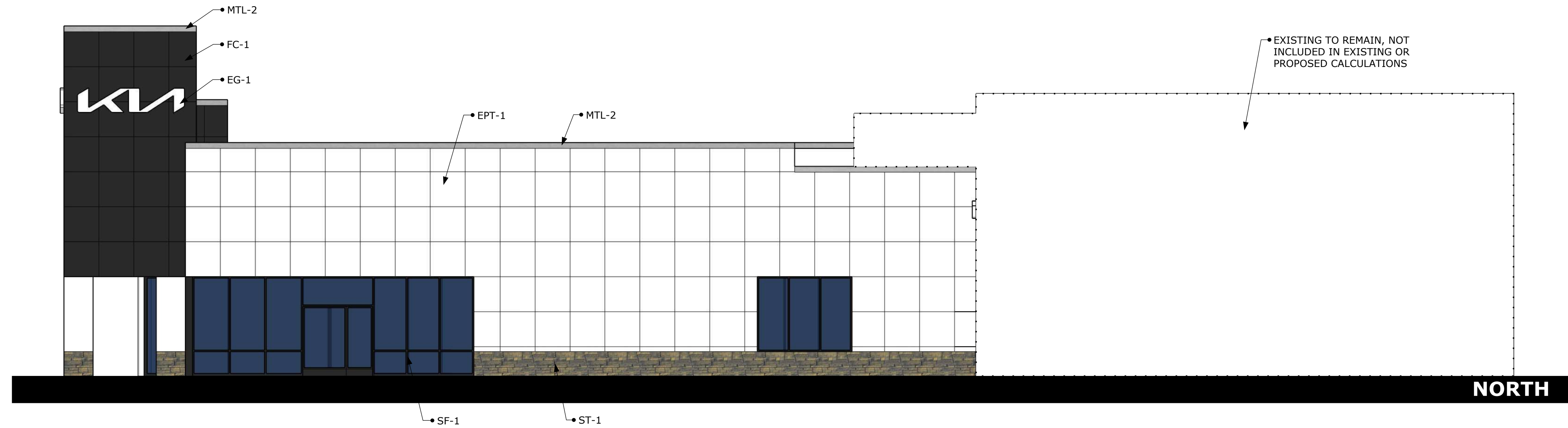
MATERIALS LEGEND	
FC-1	STENI VENTILATED FAÇADE, COLOR SERIES
	COLOR: BLACK, FINISH: HIGH GLOSS, SIZE 48"x96"
	CUT TO: 4"x4", FACTORY FINISH PANEL EDGES
EPT-1	EXISTING PORCELAIN TILE, TO REMAIN
MTL-1	EXISTING METAL COLUMN WRAPS TO REMAIN
MTL-2	EXISTING METAL COPINGS TO BE REPLACED WITH COMPARABLE PRODUCT
SF-1	STOREFRONT SYSTEM
ST-1	STONE

EXTERIOR SIGNAGE BY PATTISON SIGN GROUP		
NO		SIZE WxH
EG-1	NEW KIA LOGO	TBD BY PATTISON
EG2	NEW HUFFINES SIGNAGE	TBD BY PATTISON

EXISTING		
NORTH		
PRIMARY MATERIALS	Square Feet	Percent of Total
Porcelain Tile	2080	76%
Stone	182	7%
Glass	459	17%
Metal Column Wrap	0	0%
Total	2721	100%
SOUTH		
PRIMARY MATERIALS	Square Feet	Percent of Total
Porcelain Tile	1623	64%
Stone	0	0%
Glass	854	34%
Metal Column Wrap	68	3%
Total	2545	100%
EAST		
PRIMARY MATERIALS	Square Feet	Percent of Total
Porcelain Tile	1756	61%
Stone	19	1%
Glass	1026	36%
Metal Column Wrap	68	2%
Total	2869	100%

PROPOSED		
NORTH		
PRIMARY MATERIALS	Square Feet	Percent of Total
Existing Porcelain Tile to Remain	1675	62%
Steni Façade Tile Black	405	15%
Existing Stone to Remain	182	7%
Existing Glass to Remain	459	17%
Existing Metal Column Wrap to Remain	0	0%
Total	2721	100%
SOUTH		
PRIMARY MATERIALS	Square Feet	Percent of Total
Existing Porcelain Tile to Remain	1122	44%
Steni Façade Tile Black	501	20%
Existing Stone to Remain	0	0%
Existing Glass to Remain	854	34%
Existing Metal Column Wrap to Remain	68	3%
Total	2545	100%
EAST		
PRIMARY MATERIALS	Square Feet	Percent of Total
Existing Porcelain Tile to Remain	844	29%
Steni Façade Tile Black	912	32%
Existing Stone to Remain	19	1%
Existing Glass to Remain	1026	36%
Existing Metal Column Wrap to Remain	68	2%
Total	2869	100%

Steni replaces 2173sf of tile on the Towers and 272sf on the Service Canopy



HUFFINES KIA

A RE-CLAD
FOR:
6940 S I35
Corinth, TX 76210

Project No. 23-0313
Date 09/06/23
Scale: 1/8" = 1'-0"

ELEVATIONS